



CITY OF CLEVELAND  
Mayor Justin M. Bibb

2026 City of Cleveland

# Landmarks Commission

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February 26<sup>th</sup>, 2026

Julie Trott, Commission Chair  
Daniel Musson, Secretary





CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Certificates of Appropriateness

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February 26<sup>th</sup>, 2026



# Case 26-010

Certificate of Appropriateness

Playhouse Square Historic District

## RJF President's Club 1515 Euclid Avenue

### Signage and Awning

Project Representatives: Kevin Potoczak, Ohio Awning & Manufacturing Co.

Ward 5: Councilmember Starr







EXISTING SIGNAGE ABOVE DOOR 9" H X 5'-8" W  
TOTAL 4.25 SQ. FT.

EXISTING CONDITION WHERE PROPOSED AWNING IS TO BE INSTALLED



**ASSEMBLED AWNING FRAME QTY: ONE (1)  
24'-1"W x 3'-6"H x 5'-0"P**



**AWNING FRAME ELEVATION RENDERING**

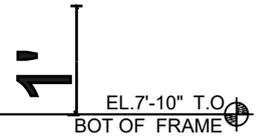


RJF PRESIDENTS' CLUB AWNING  
FONT: TRADE GOTHIC NEXT HEAVY TITLE CASE

# PROPOSED GRAPHIC LAYOUT

COLOR: BRASS

24'-1"

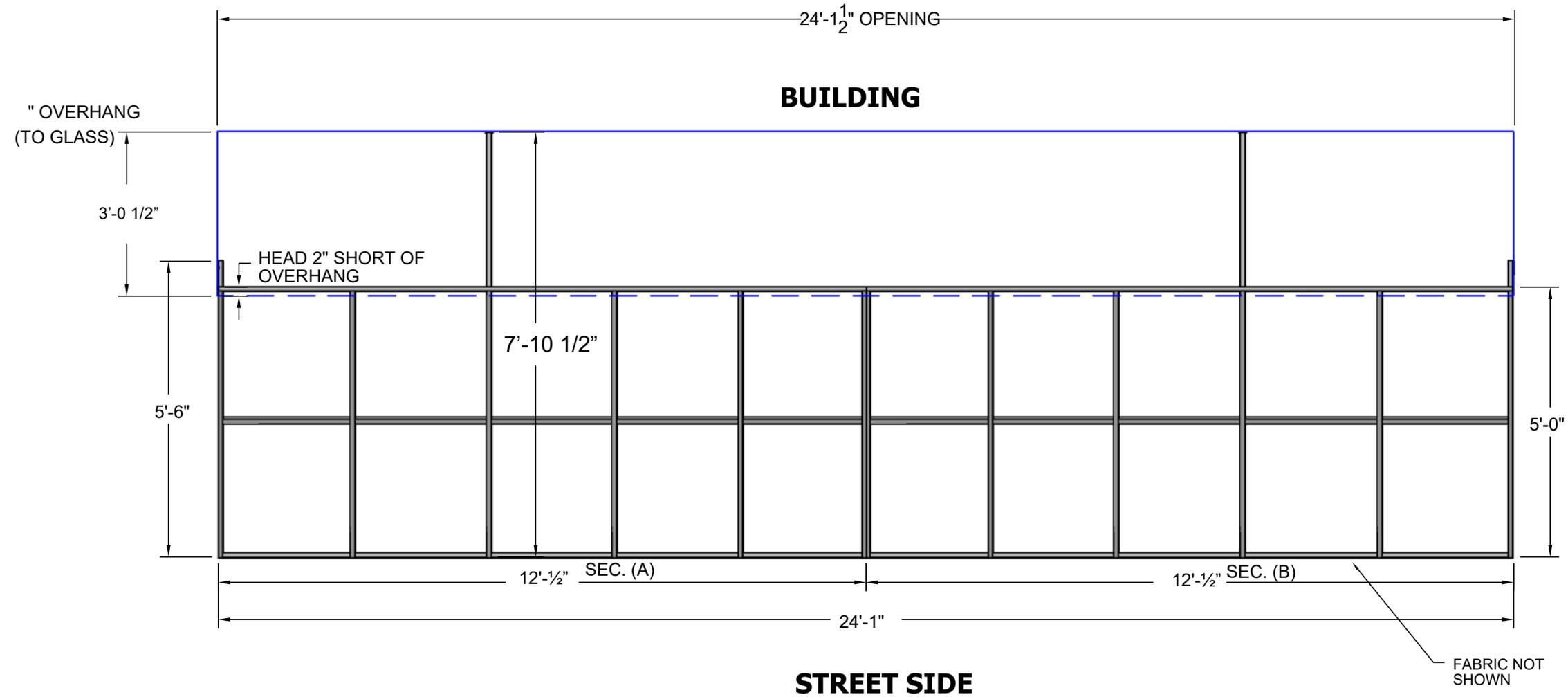


TEXT CENTERED ON VALANCE

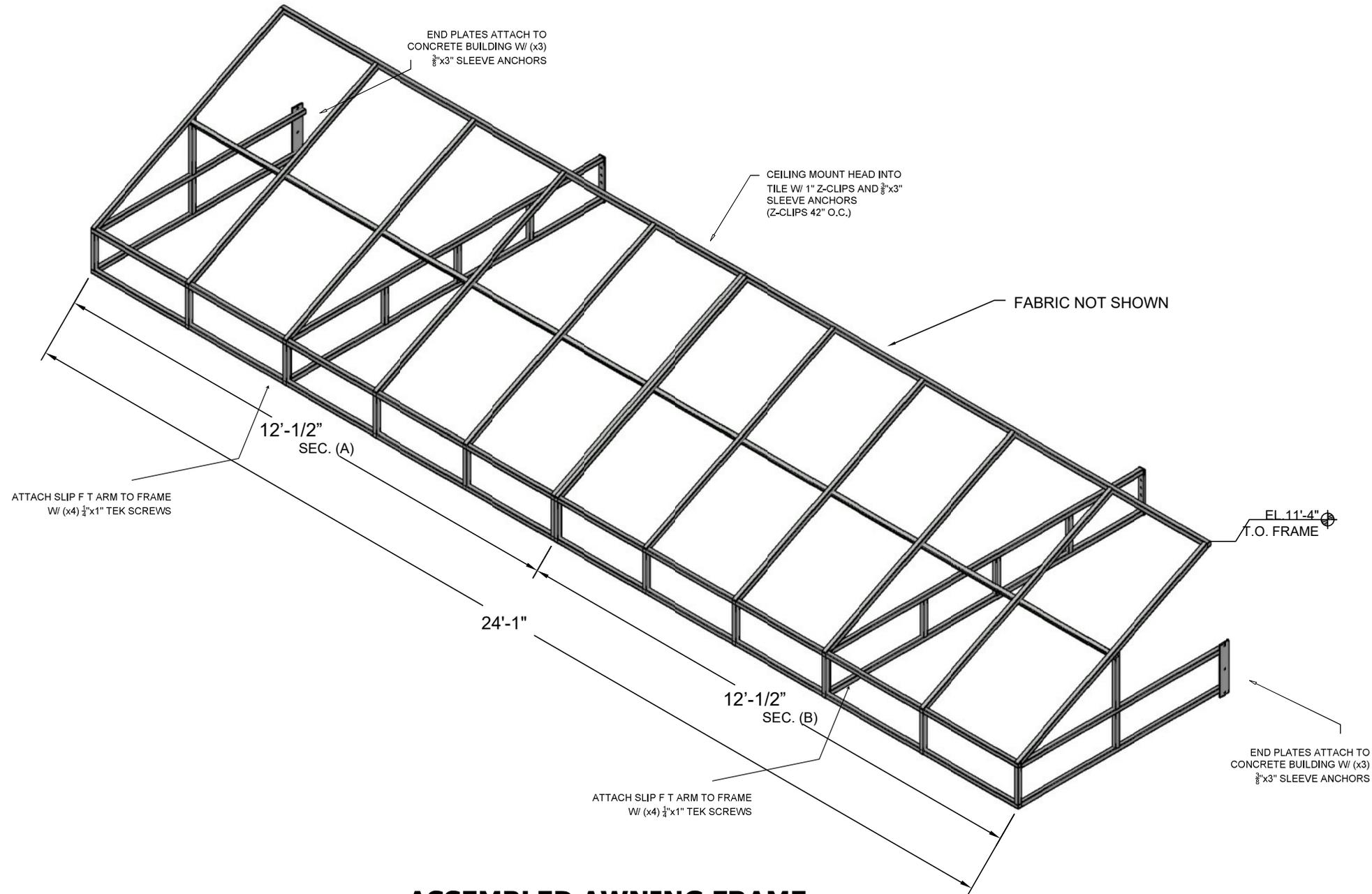
**RJF Presidents' Club** | 6"  
9'-0"



 BUILDING OUTLINE



**ASSEMBLED AWNING FRAME PLAN VIEW**



**ASSEMBLED AWNING FRAME**

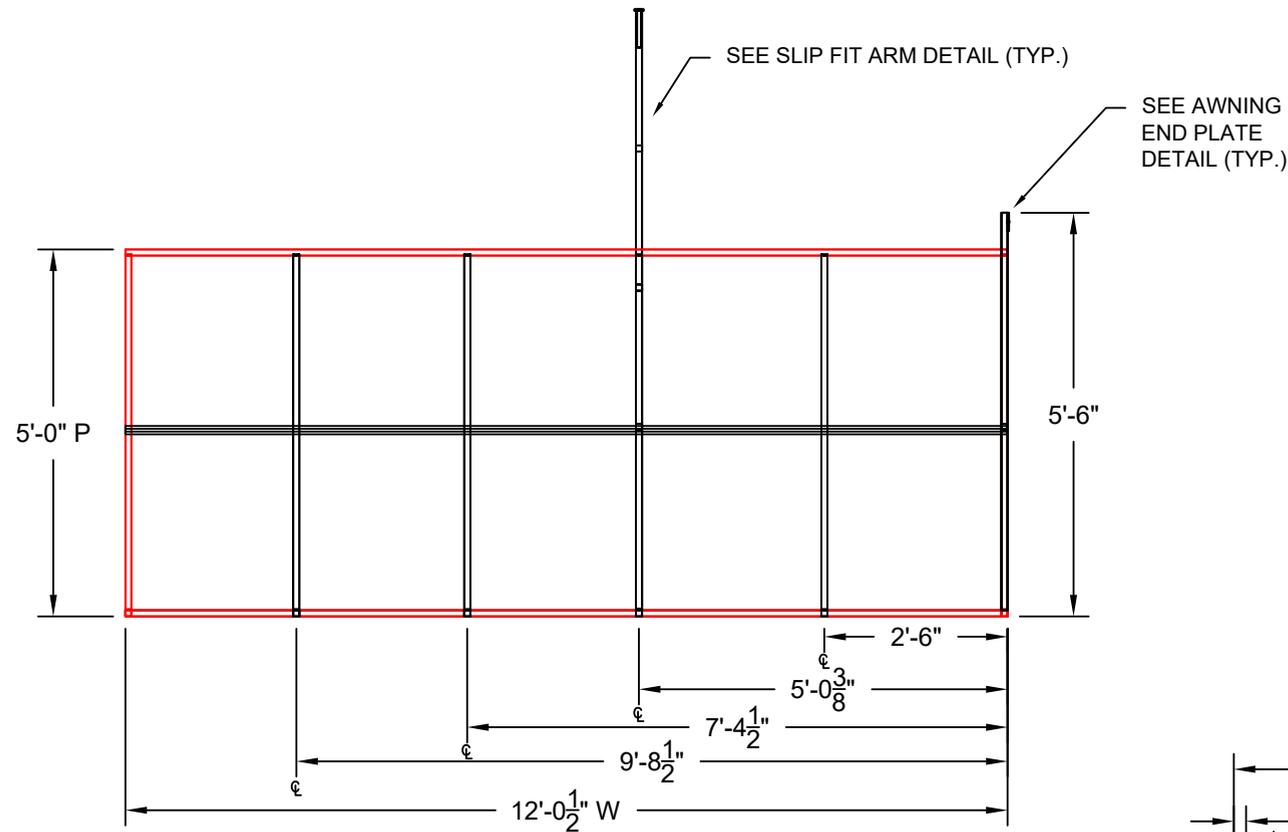
**AWNING FRAME / FABRIC NOTES:**

1. FRAMEWORK TO BE CONSTRUCTED OF WELDED 1" SQ. (0.090 WALL 6063-T6), MILL FINISHED, ALUMINUM STAPLE CHANNEL TUBING.
2. FRAME HAS OPEN LEFT / RIGHT ENDS.
3. FABRIC ATTACHMENT: STAPLE
4. FABRIC MFG / COLOR: RECSYSTEM BLACK FR  
- GETS GRAPHICS

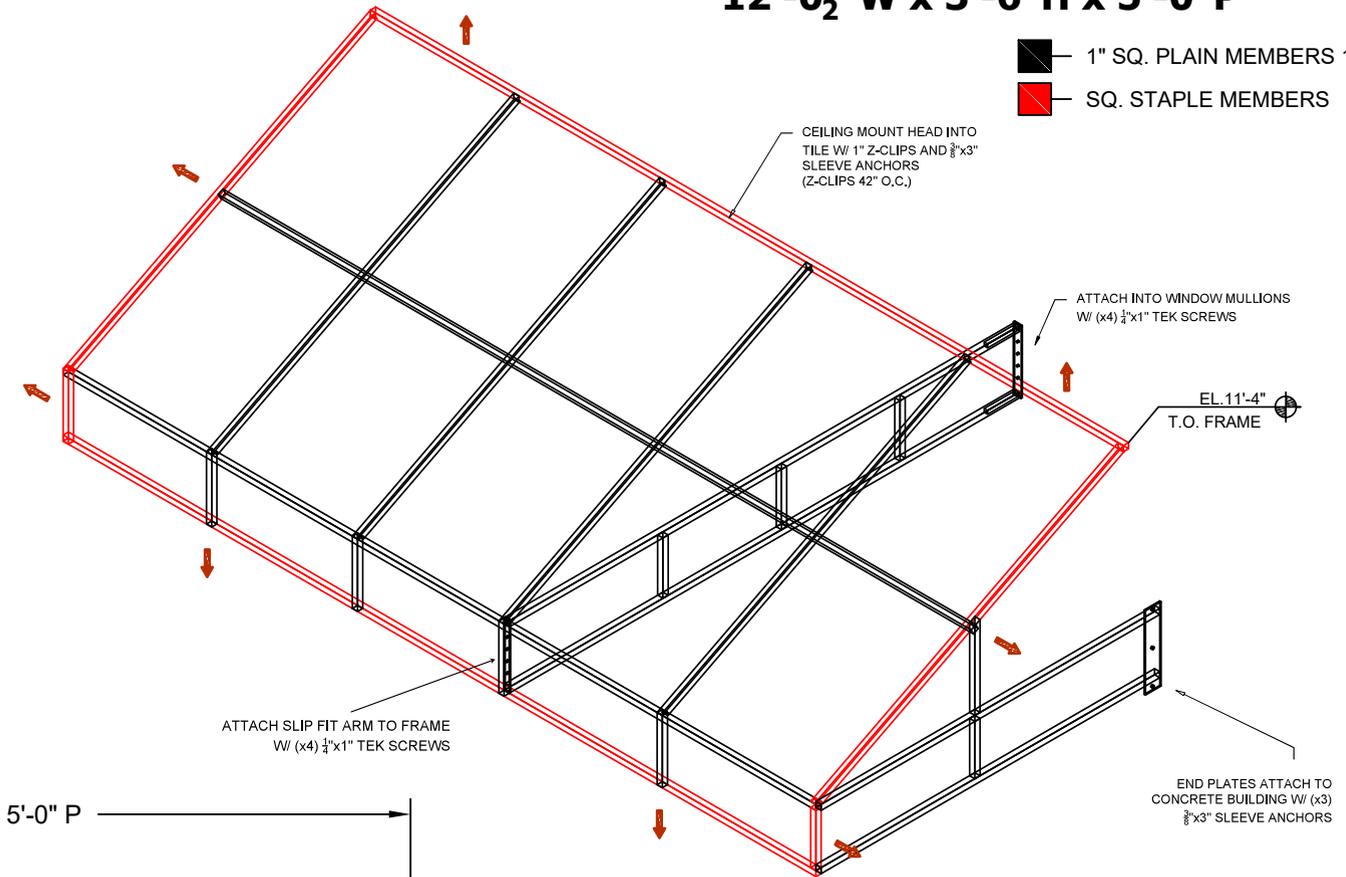


**AWNING FRAME SEC. (A) QTY: ONE (1)**  
**12'-0 $\frac{1}{2}$ "W x 3'-6"H x 5'-0"P**

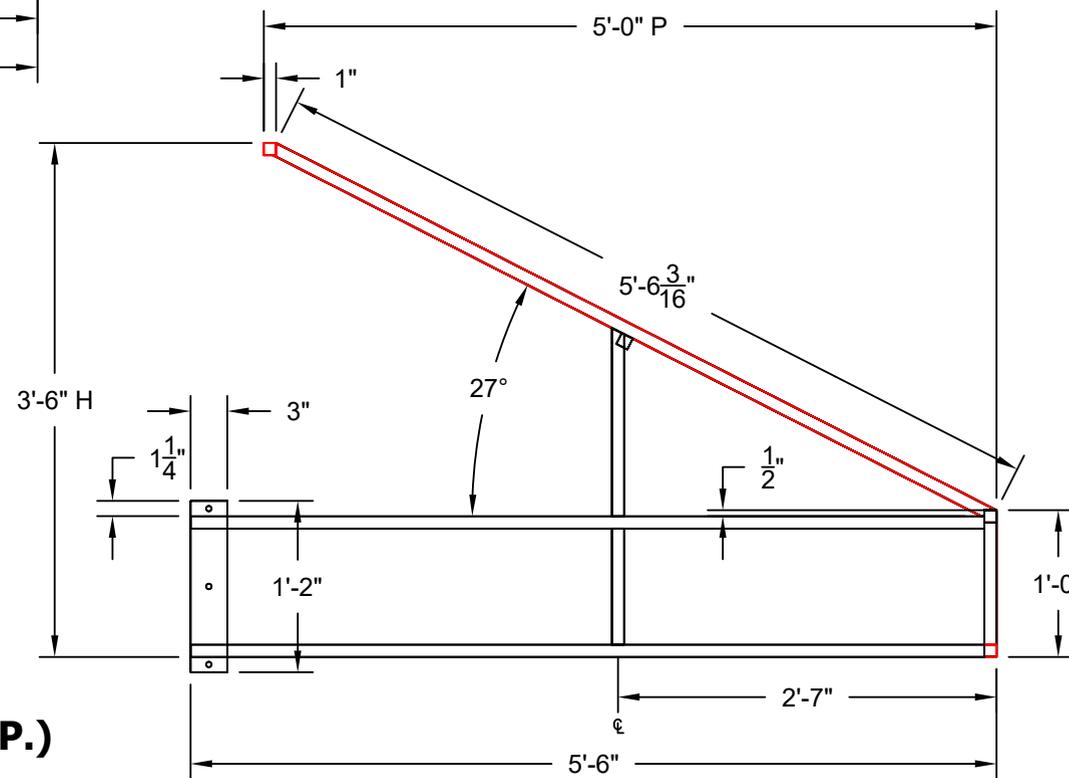
1" SQ. PLAIN MEMBERS 1"  
SQ. STAPLE MEMBERS



**AWNING FRAME TOP VIEW**



**AWNING FRAME ISOMETRIC VIEW**



**AWNING FRAME END (TYP.)**

**AWNING FRAME / FABRIC NOTES:**

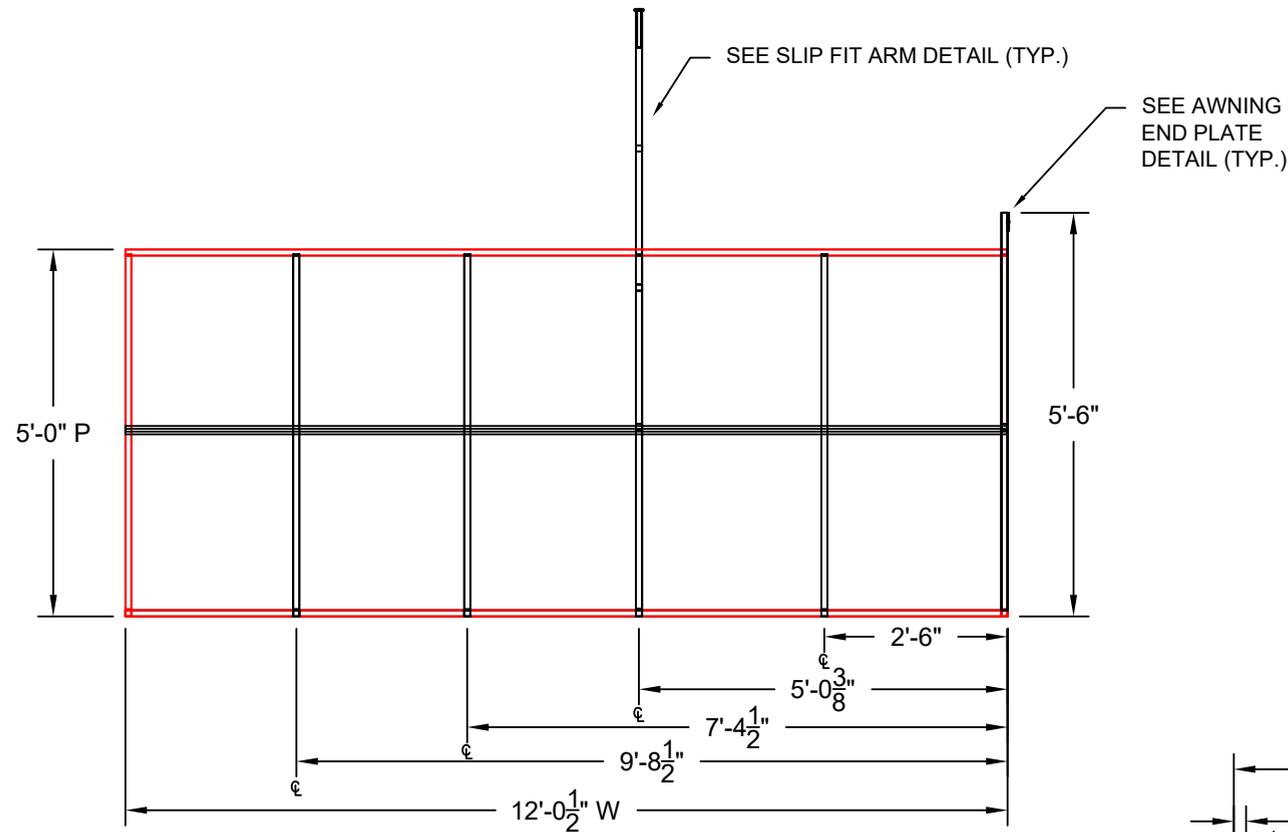
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2. FRAME HAS OPEN LEFT / RIGHT ENDS.
3. FABRIC ATTACHMENT: STAPLE
4. FABRIC MFG / COLOR: RECSYSTEM BLACK FR  
- GETS GRAPHICS



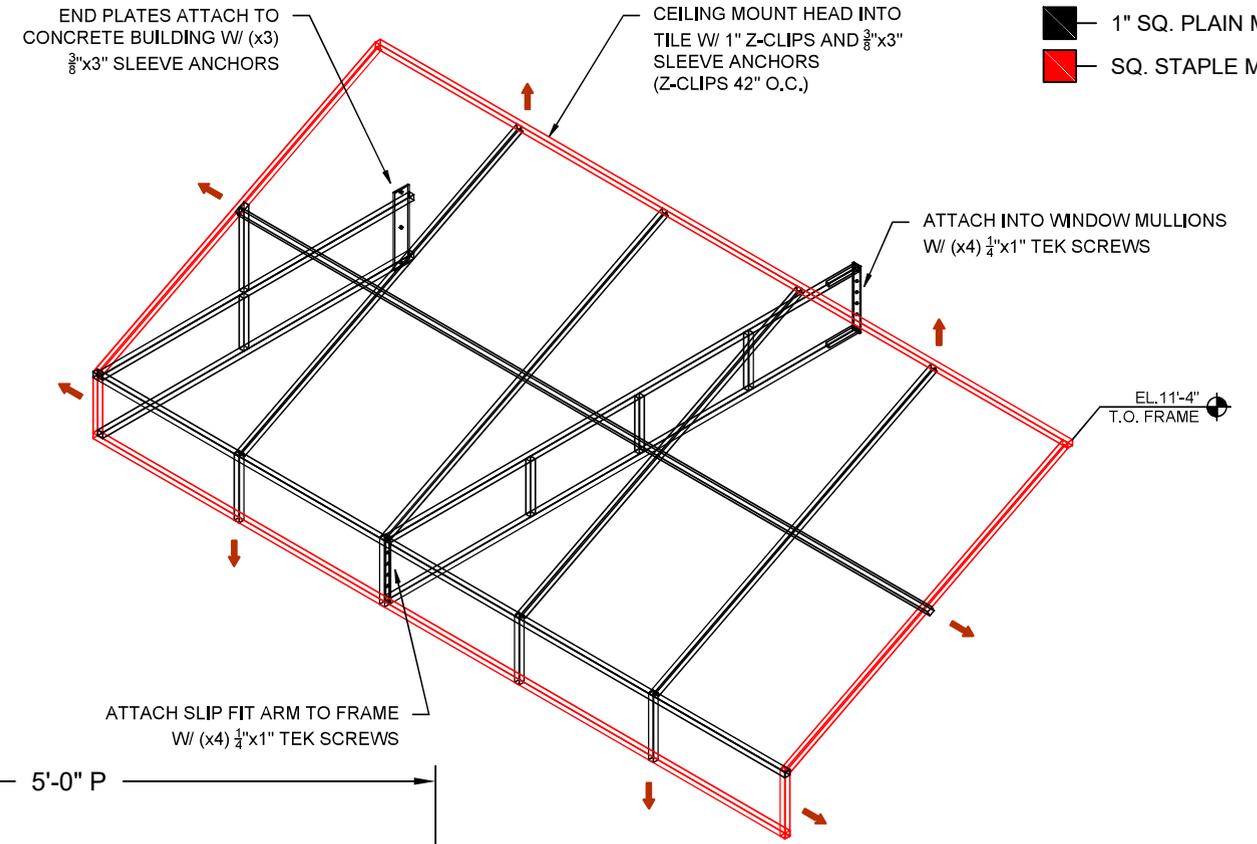
**AWNING FRAME SEC. (B) QTY: ONE (1)**

**12'-0 $\frac{1}{2}$ " W x 3'-6" H x 5'-0" P**

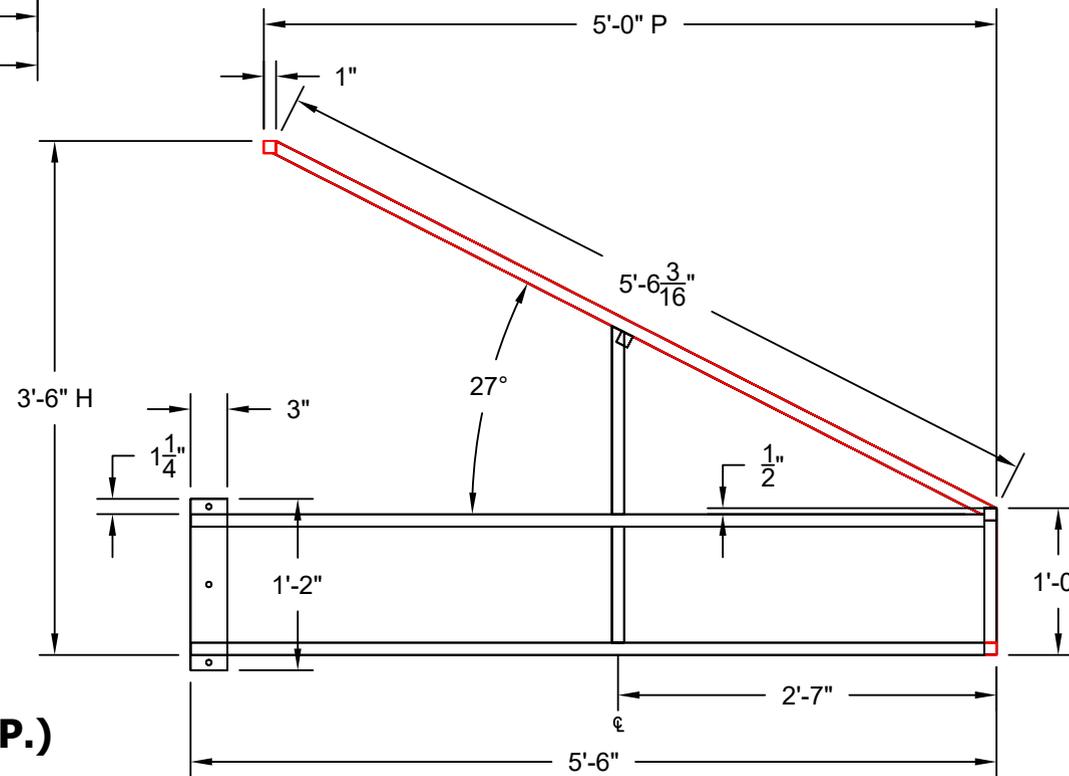
1" SQ. PLAIN MEMBERS 1"  
SQ. STAPLE MEMBERS



**AWNING FRAME TOP VIEW**



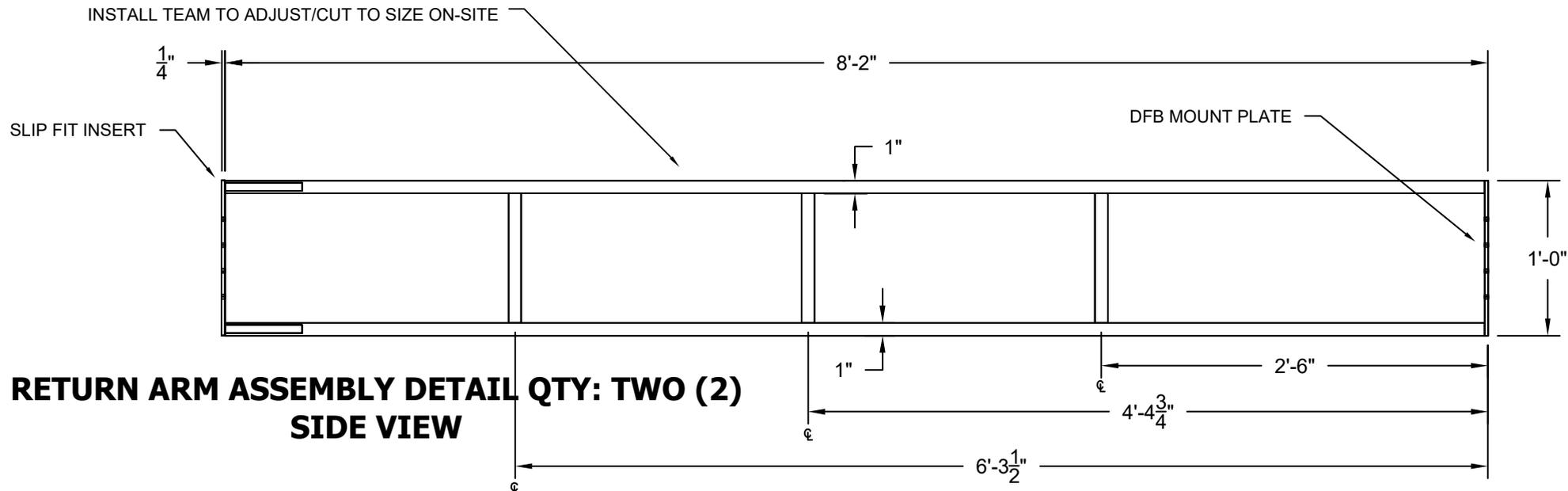
**AWNING FRAME ISOMETRIC VIEW**



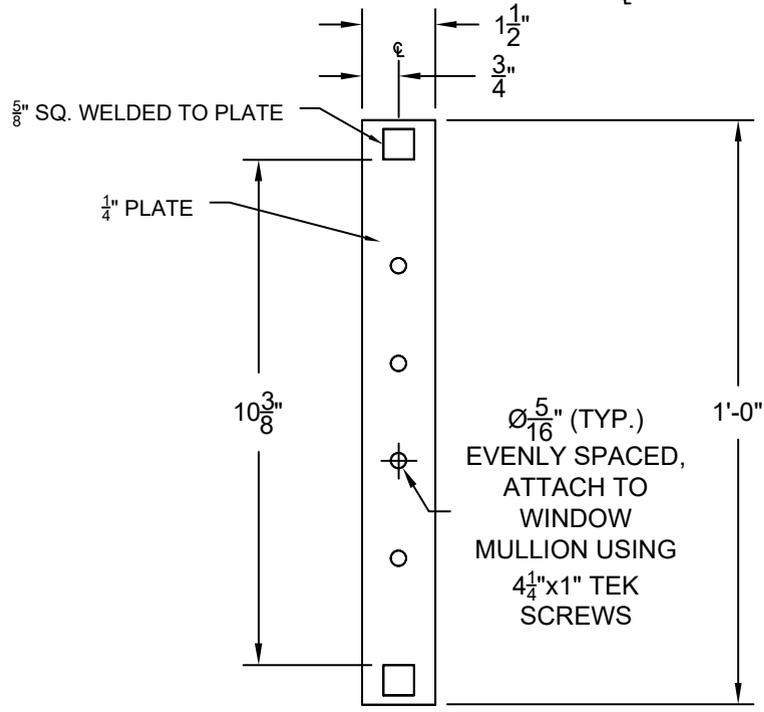
**AWNING FRAME END (TYP.)**

**AWNING FRAME / FABRIC NOTES:**

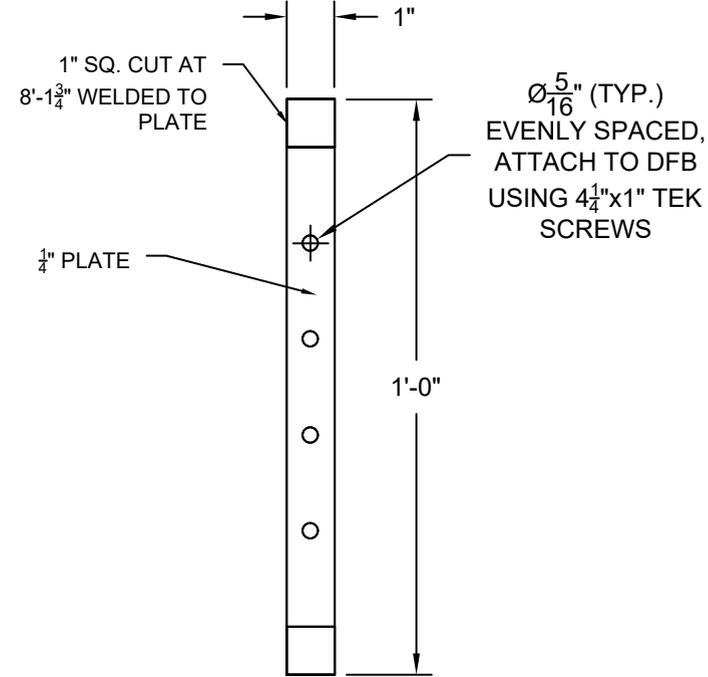
1. FRAMEWORK TO BE CONSTRUCTED OF WELDED 1" SQ. (0.090 WALL 6063-T6), MILL FINISHED, ALUMINUM STAPLE CHANNEL TUBING.
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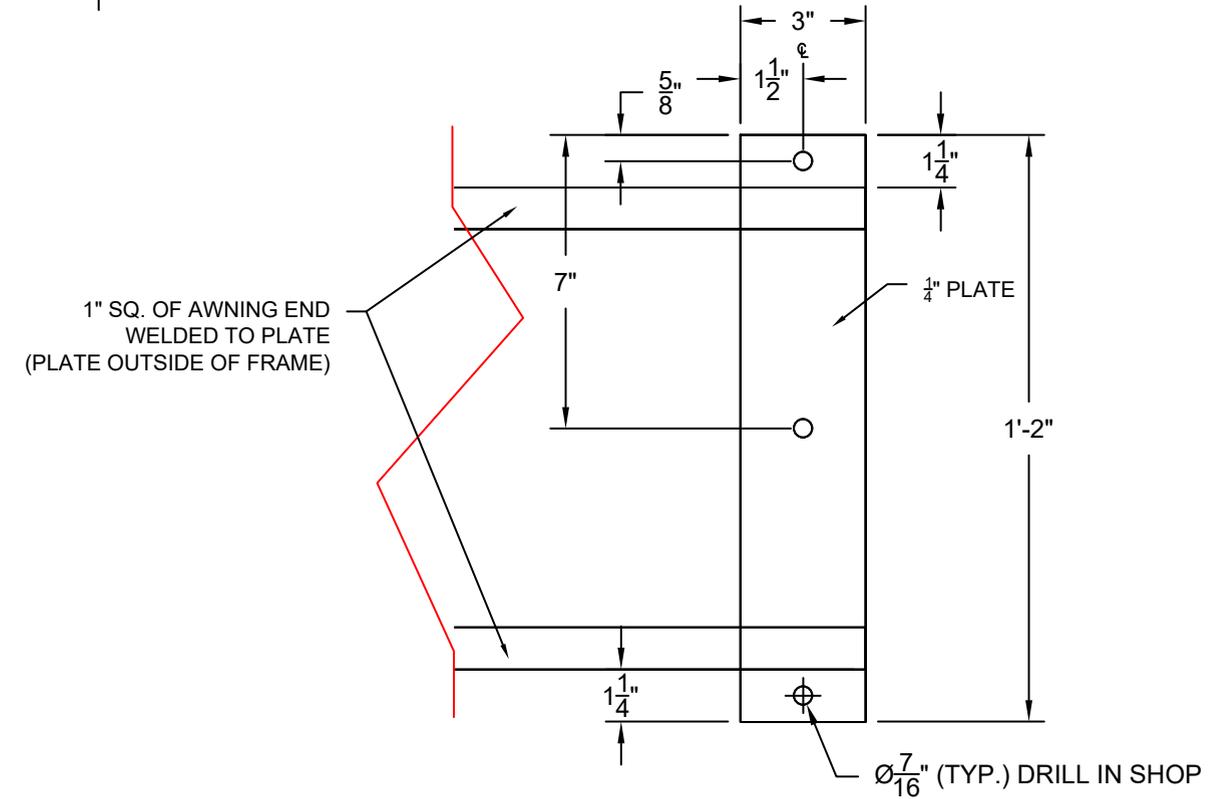
**RETURN ARM ASSEMBLY DETAIL QTY: TWO (2)  
SIDE VIEW**



**SLIP FIT INSERT QTY: TWO (x2)  
FRONT VIEW**



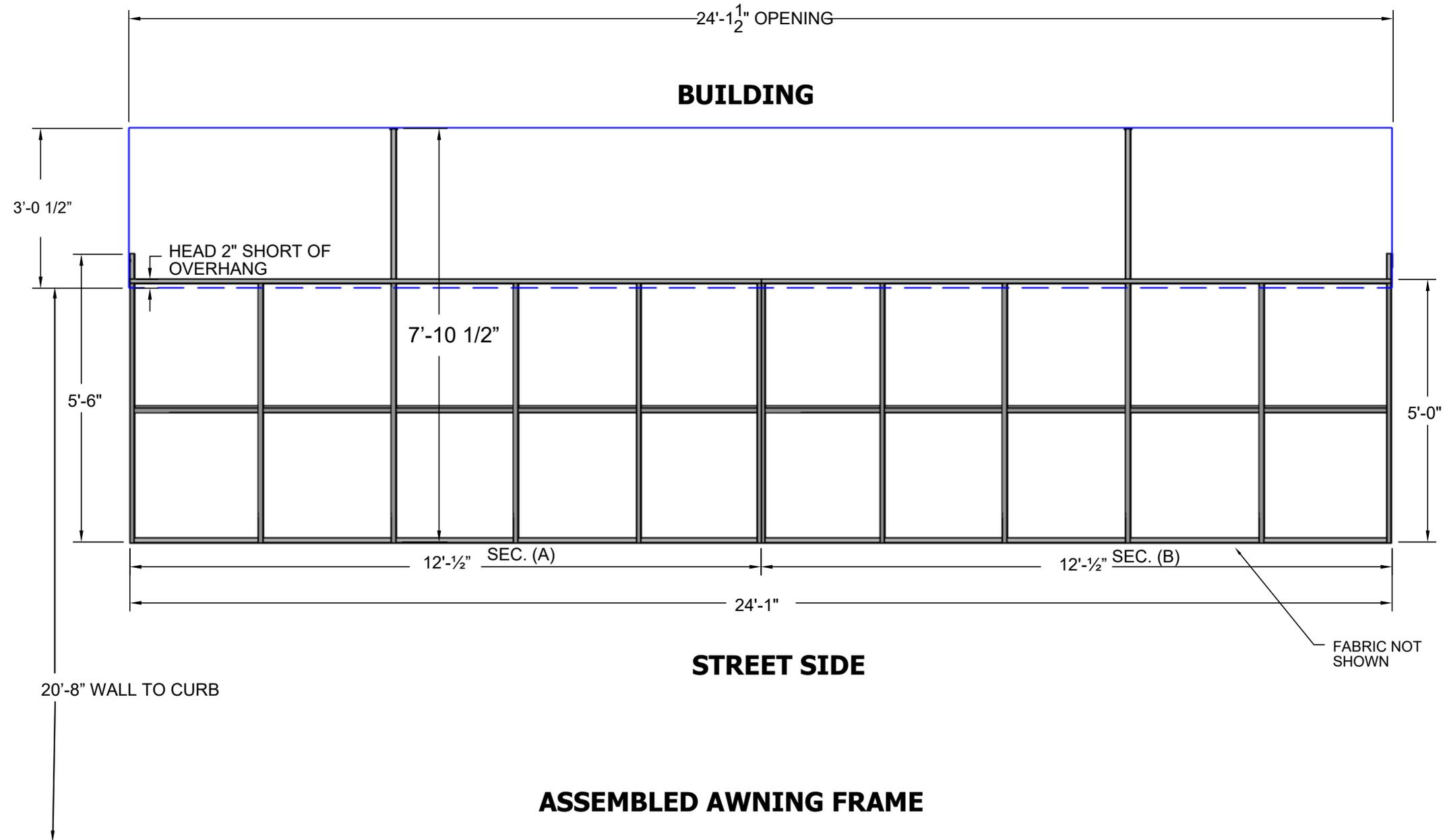
**RETURN ARM ASSEMBLY QTY: TWO (x2)  
FRONT VIEW (INSERT HIDDEN)**



**AWNING END PLATE DETAIL QTY: TWO (x2)  
FRONT VIEW**



 BUILDING OUTLINE



**MATERIALS LIST:**

**CANOPY FABRIC:** RECSYSTEM FR is a high performance fire-retardant fabric designed for outdoor applications. Woven solution-dyed modified acrylic yarn offering years of durability for holding its color, water repellency, and UV protection. The fabric meets NFPA 701 (2015), CSFM Title 19, and CPAI-84. The weight of the fabric is 10 ounces per square yard with the underside resin-coated for higher water repellency

**CANOPY COLOR:** BLACK

**CANOPY GRAPHICS WILL BE PAINTED ON THE FABRIC  
ON THE VALANCE AREA SPACED TO DESIGNATE EACH TENANT**

**GRAPHICS COLOR:** BRASS

**CANOPY FRAMEWORK:** Welded aluminum tubing with radius corners consisting of 1"square, 1"x2"rectangle, and 2"square components. This portion will be powder coated in Black.

# Recsystem<sup>FR</sup>

Recsystem FR is the ultimate fire-retardant fabric for awnings and shade. Woven with inherently fire-retardant modified acrylic yarn, it is certified to meet all relevant FR codes. A proprietary back coating makes Recsystem FR waterproof when properly installed.

## Colors



FR-176  
Red



FR-102  
Forest Green



FR-103  
Black



## Technical Specifications

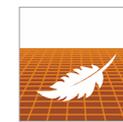
FABRIC CHARACTERISTICS		NORM
Composition	Modified solution-dyed acrylic fiber	
Type of fabric	Waterproof acrylic (When properly used and installed)	
Finish	Resin-coated weldable on 1 side. Special "Infinity" treatment for awnings that repels water and dirt, creating an anti-stain and anti-mold barrier, while allowing the canvas to breathe.	BS 7209
Color range	10 colors	
Use	Out door	
TECHNICAL FEATURES		
Weight	10 oz/yd <sup>2</sup>	UNE-EN 12127
Thickness	0,45 mm	UNE-EN ISO 5084
Width	60 "	
Standard roll length	65 yards	
Water column	≥ 1000 mm	UNEEN 20811Tensile
strength (warp/weft)	140/60 daN/5 cm	UNE-EN ISO 13934-1
Tear strength (warp/weft)	4/2 daN	UNE-EN ISO 13937-2 Oil
repellency	4	UNE-EN ISO 14419
Water repellency	4	UNE-EN ISO 4920 Fire
classification	NFPA 701 (2015), CSFM Title 19, CPAI-84	
Spray test	5	

QUALITY MANAGEMENT SYSTEM		ISO 9001
ISO 9001		

SAFETY, HEALTH AND ENVIRONMENT		AS-NZS 4399
Ultraviolet protection factor - UPF	50+ (Excellent protection)	



## ADVANTAGES AND BENEFITS



Textile look and feel



Wide range of colors



Printable fabrics



Suitable for marine environments



Easy to maintain



Energy saving



Cost saving



Stands the test of time



**RECASENS**  
BCN 1886



The indicated technical values are average values allowing a tolerance of +/- 5%.

The technical specifications are provided for reference purposes only and are accurate as of the date printed. Information is subject to change as product improvements are made in response to market demands and technical advances. It is the customer's responsibility to verify that the data being referenced corresponds to the latest version of the product.

The client is responsible for the correct use of the product in accordance with the application for which it is designed and recommended. S.A. RECASENS is not responsible for the assembly and installation of the product. S.A. RECASENS is not responsible for the improper installation or use of its products, or for the failure to install or use its products in accordance with current laws and regulations.

**RECASENS USA**  
BCN 1886

customerservices@recasensusa.com  
www.recasensusa.com

# Case 26-011

Certificate of Appropriateness

Playhouse Square Historic District

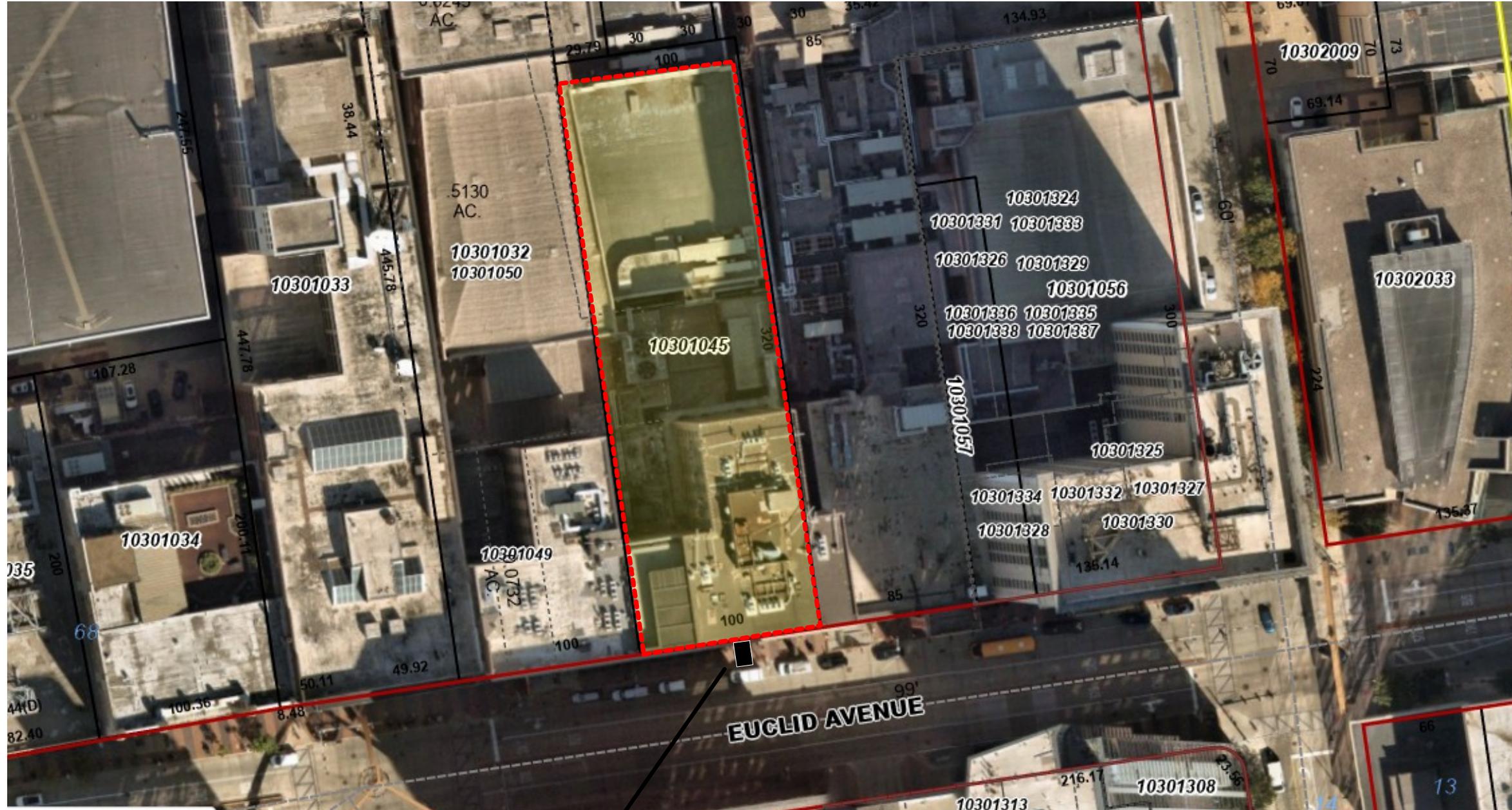
## Bulkley Building 1501 Euclid Avenue

### Canopy

Project Representatives: Kevin Potoczak, Ohio Awning & Manufacturing Co.

Ward 5: Councilmember Starr

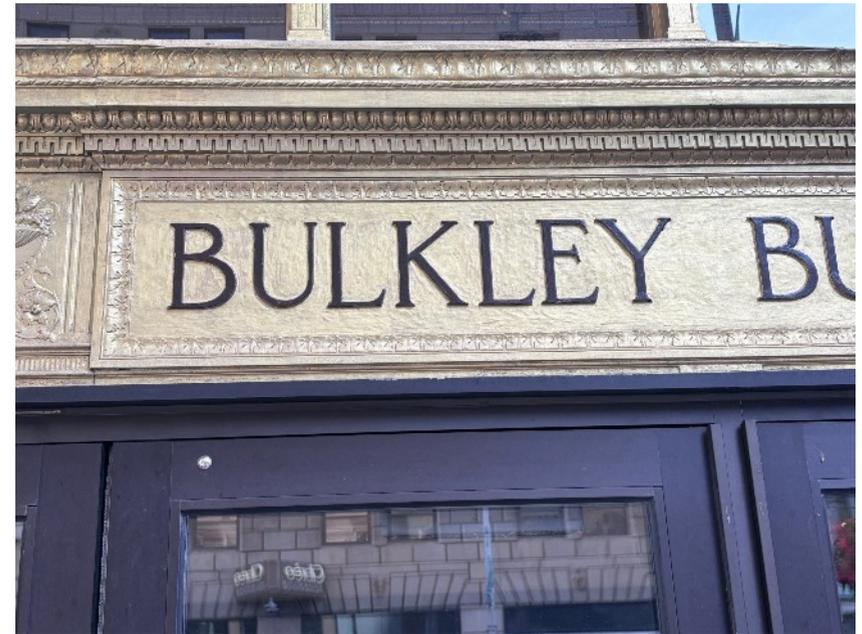




PROPOSED FREESTANDING CANOPY



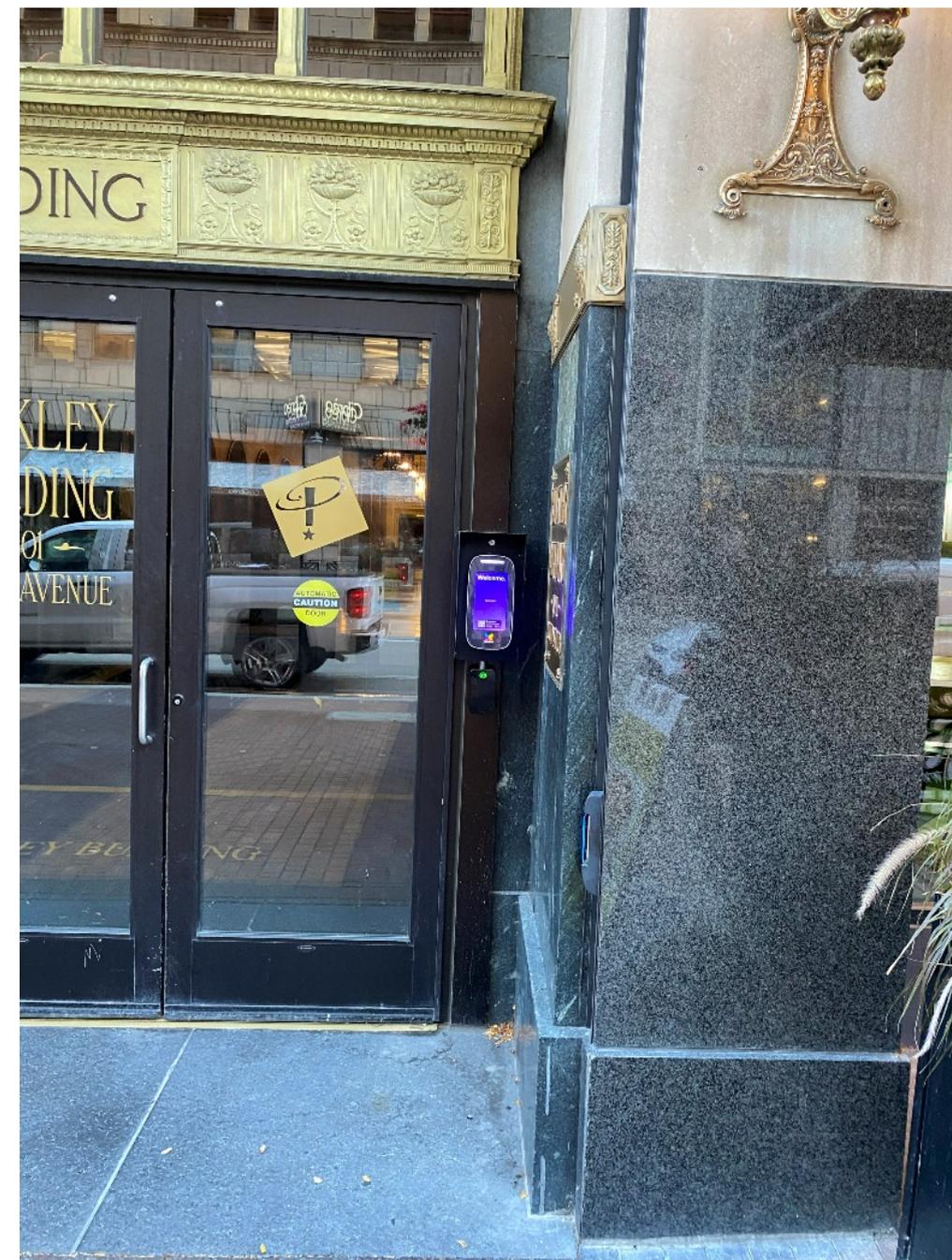
**EXISTING CONDITIONS OF AREA OF PROPOSED CANOPY**



ENTRY WAY



**EXISTING CONDITIONS OF AREA OF PROPOSED CANOPY**



ENTRY WAY

SHEET

DRAWN VO

CLIE

**EXISTING  
CONDITIONS**  
4 OF 15

ORD NO: 25-275-K  
DATE: 2-19-25

**BULKLEY BUILDING  
1501 EUCLID AVE.**



**OHIO AWNING  
& MANUFACTURING COMPANY**

5777 GRANT AVE.  
CLEVELAND OHIO  
44105 216-861-2400  
OHIOAWNING.COM

160 years  
of craftsmanship & innovation

# EXISTING CONDITIONS OF AREA OF PROPOSED CANOPY



ENTRY WAY

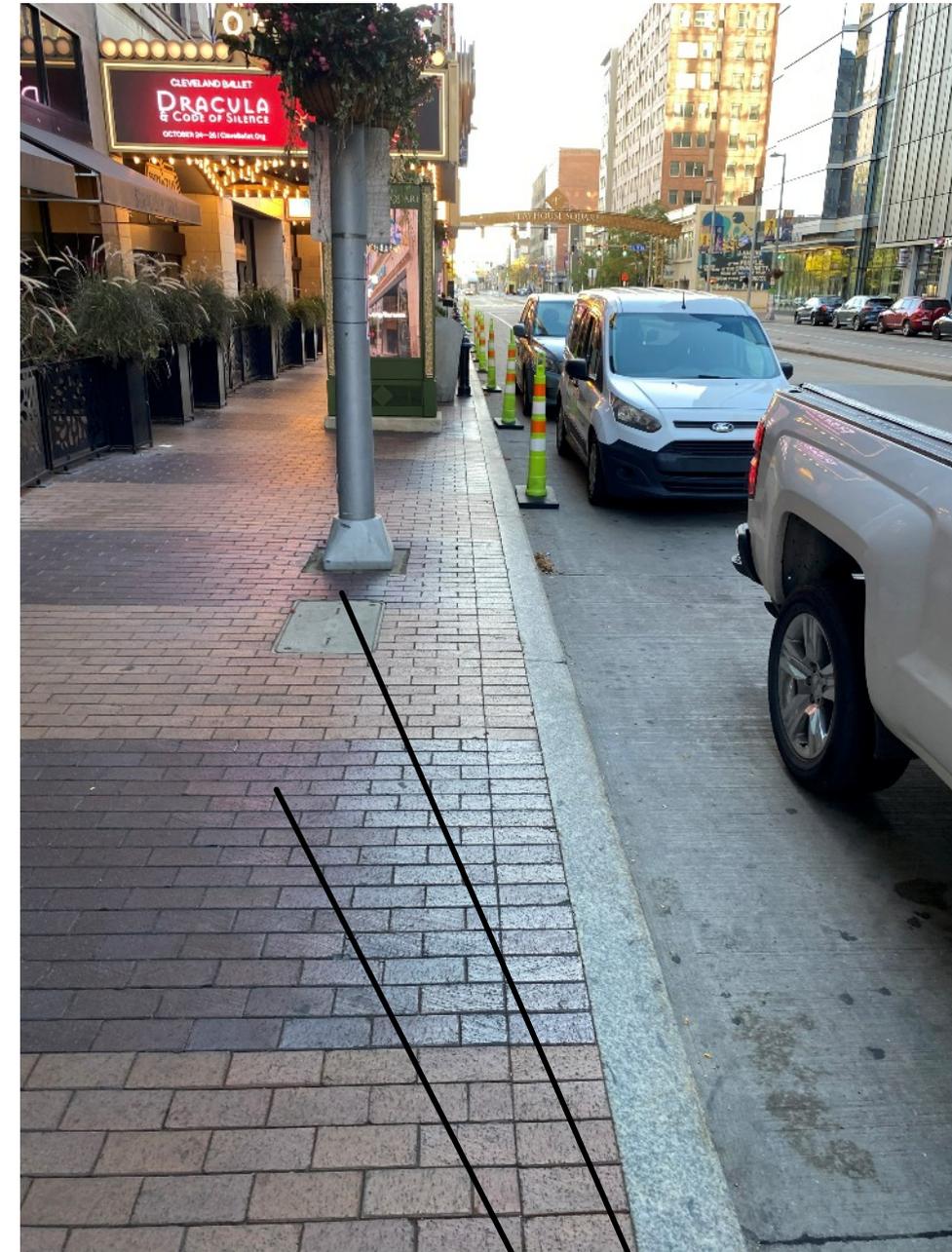


**EXISTING CONDITIONS OF AREA OF PROPOSED CANOPY**



RIGHT SIDE EDGE OF THE CANOPY

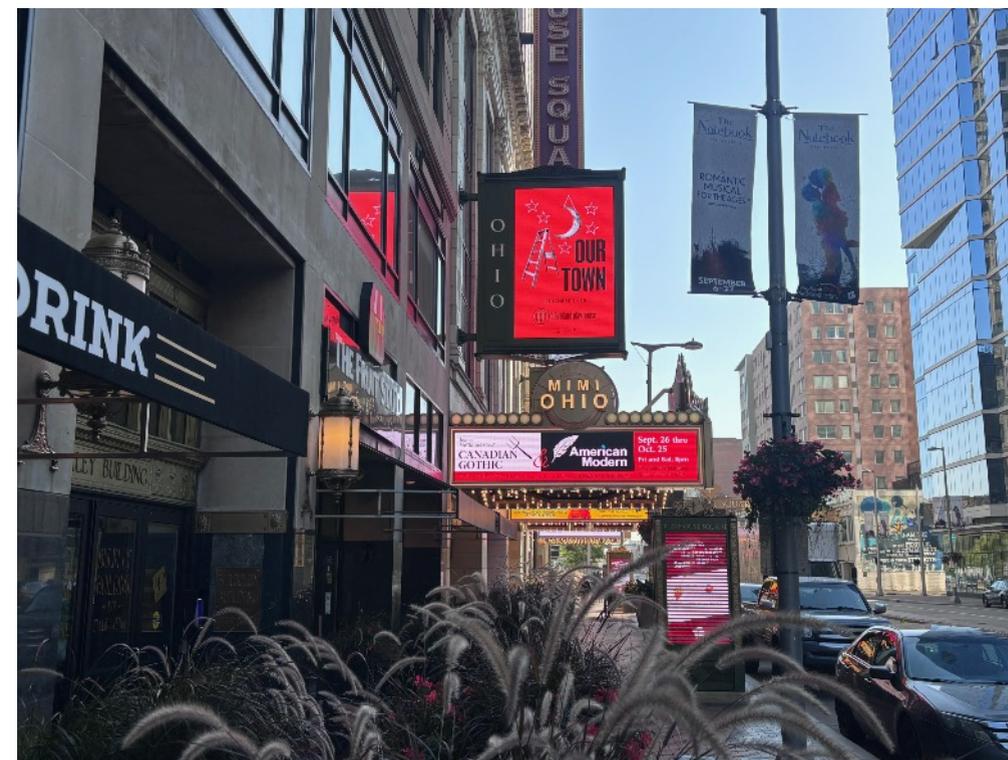
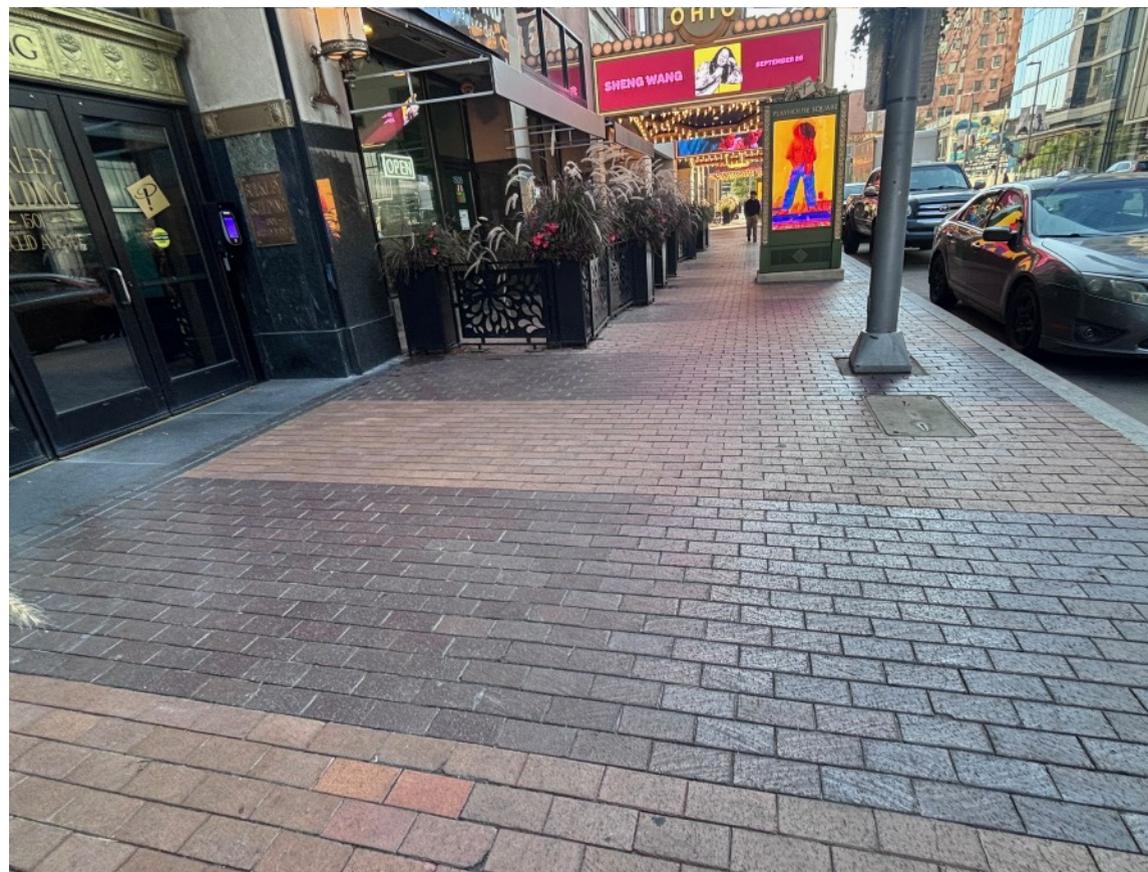
CAUTION WILL  
BE TAKEN TO NOT  
DISRUPT THE BRICKS  
AND THE BRICKS  
REMOVED WILL BE  
SAVED.



CURB LINE-CANOPY POST TO BE IN LINE WITH UTILITY POLE



EXISTING CONDITIONS OF AREA OF PROPOSED CANOPY



CAUTION WILL  
BE TAKEN TO NOT  
DISRUPT THE BRICKS  
AND THE BRICKS  
REMOVED WILL BE  
SAVED.

DRAWN	VO
ORD NO.	25-275-K
DATE:	2-19-25

CLIE  
**BULKLEY BUILDING**  
**1501 EUCLID AVE.**



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**ASSEMBLED FREESTANDING AWNING FRAME QTY: ONE (1)**  
**13'-8" W x 4'-0" H x 18'-0" P**



NOSE AND SIDES GET  
 ADDITIONAL GRAPHICS

EL. 10'-0"  
 B.O. FRAME

Canopy lower elevation  
 will be above ornate  
 molding and existing signage  
 above the doors  
 1'-10 1/2" above doors

8'-1/2" DOOR HEIGHT

CAUTION WILL  
 BE TAKEN TO NOT  
 DISRUPT THE BRICKS  
 AND THE BRICKS  
 REMOVED WILL BE  
 SAVED.

- AWNING FRAME / FABRIC NOTES:**
1. FRAMEWORK TO BE CONSTRUCTED OF WELDED 1" SQ. & 1x2" RECT. (0.090 WALL 6063-T6), ALUMINUM STAPLE CHANNEL TUBING.
  2. FRAME HAS CLOSED FRONT / BACK NOSES.
  3. FABRIC ATTACHMENT: STAPLE
  4. FABRIC MFG / COLOR: BLACK RECSYSTEM FR
  5. POWDERCOAT COLOR: TBD

FOR THE PURPOSE OF ANALYSIS THIS AWNING / CANOPY STRUCTURE  
 HAS BEEN LOADED AS FOLLOWS AS PER OBC 1607.12.4:

- LIVE LOAD 5.0 PSF OBC 1607.1 & TABLE 1607.1.26
- WIND LOAD 20.7 PSF (90 mph) OBC 1609
- SNOW LOAD 30.0 PSF OBC 1608

FREESTANDING CANOPY

DRAWN	VO
ORD NO.	25-275-K
DATE	2-19-25

CLIE  
**BULKLEY BUILDING**  
**1501 EUCLID AVE.**



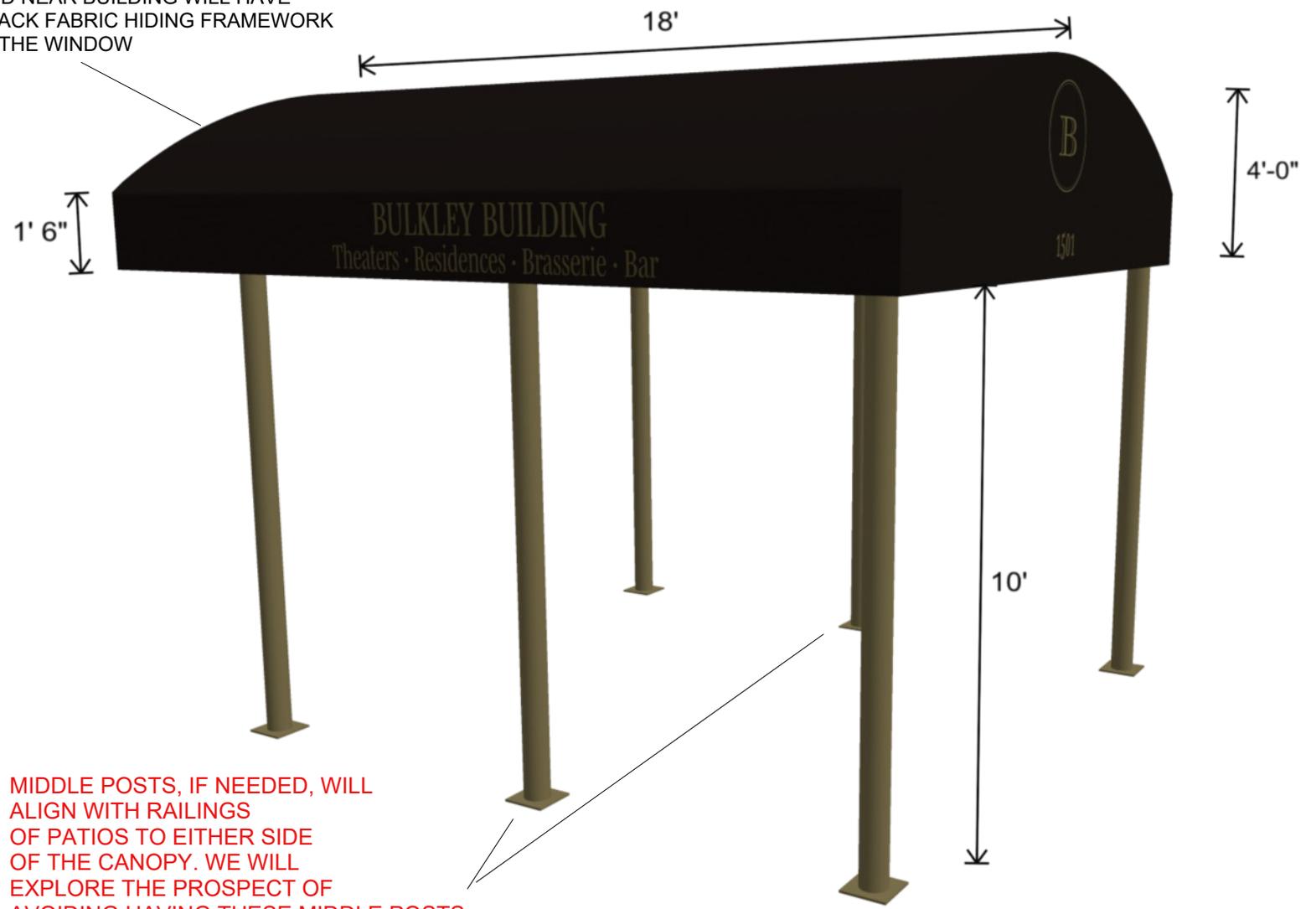
**OHIO AWNING**  
& MANUFACTURING COMPANY

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44105 216-861-2400  
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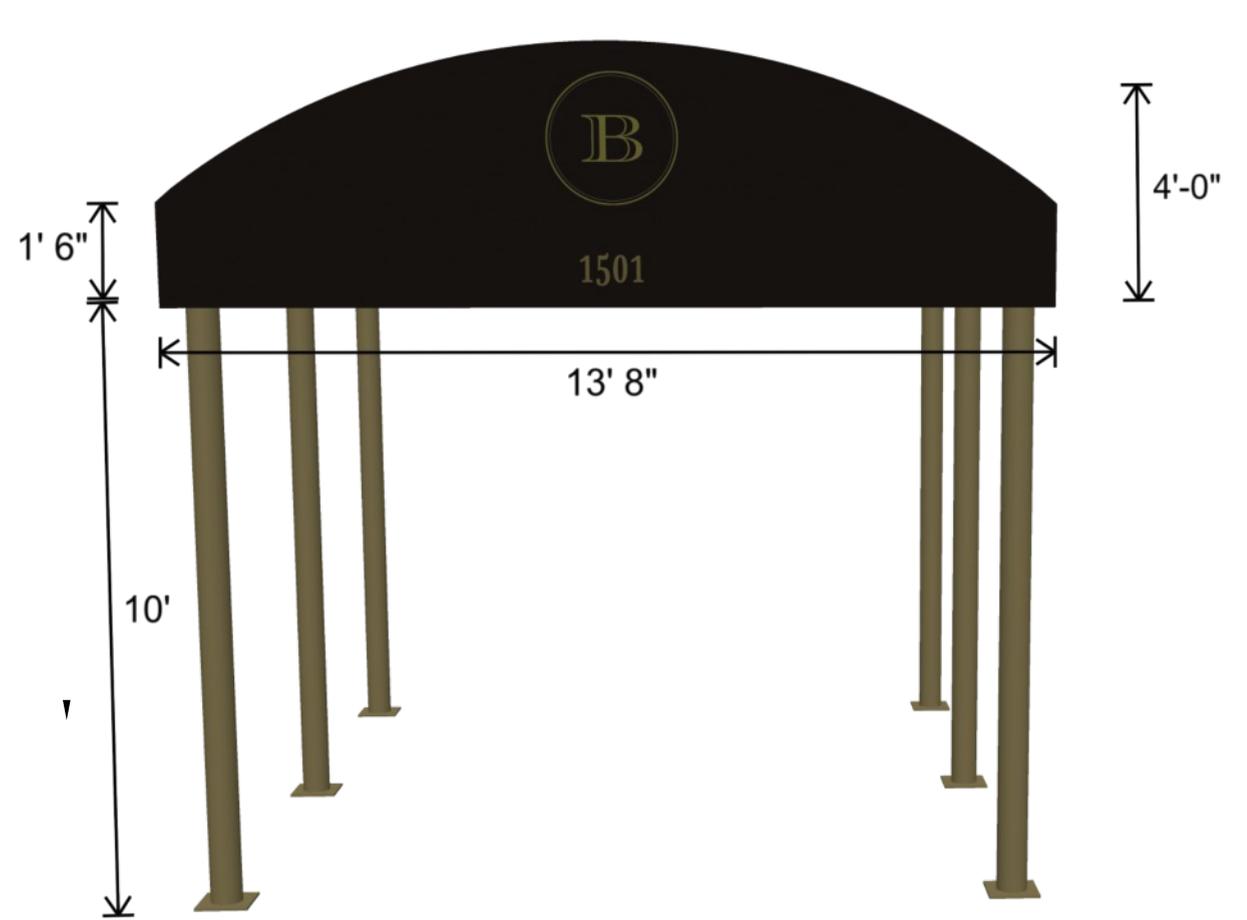
160 years  
of craftsmanship & innovation

**ASSEMBLED FREESTANDING AWNING FRAME QTY: ONE (1)**  
**13'-8" W x 4'-0" H x 18'-0" P**

END NEAR BUILDING WILL HAVE  
BLACK FABRIC HIDING FRAMEWORK  
IN THE WINDOW



MIDDLE POSTS, IF NEEDED, WILL  
ALIGN WITH RAILINGS  
OF PATIOS TO EITHER SIDE  
OF THE CANOPY. WE WILL  
EXPLORE THE PROSPECT OF  
AVOIDING HAVING THESE MIDDLE POSTS  
WHEN ENGINEERING CALCS. ARE COMPLETED



THE 4' HEIGHT WOULD ESSENTIALLY TAKE UP THE ENTIRE WINDOW AREA  
ABOVE THE ORNATE SIGN AREA.

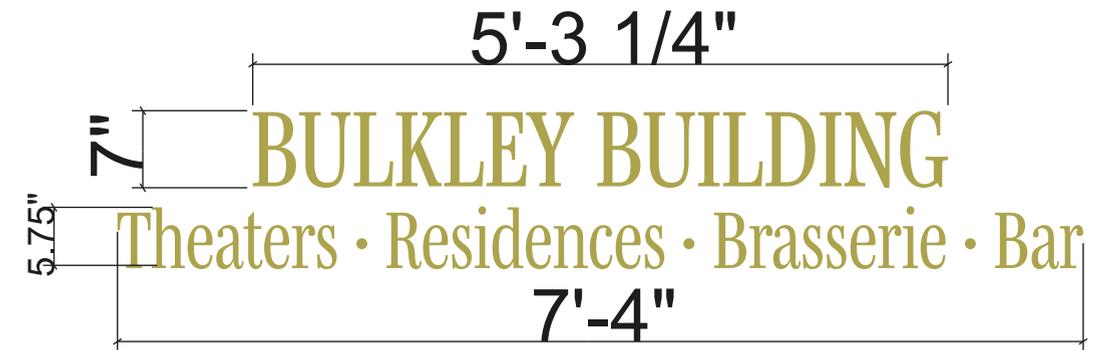
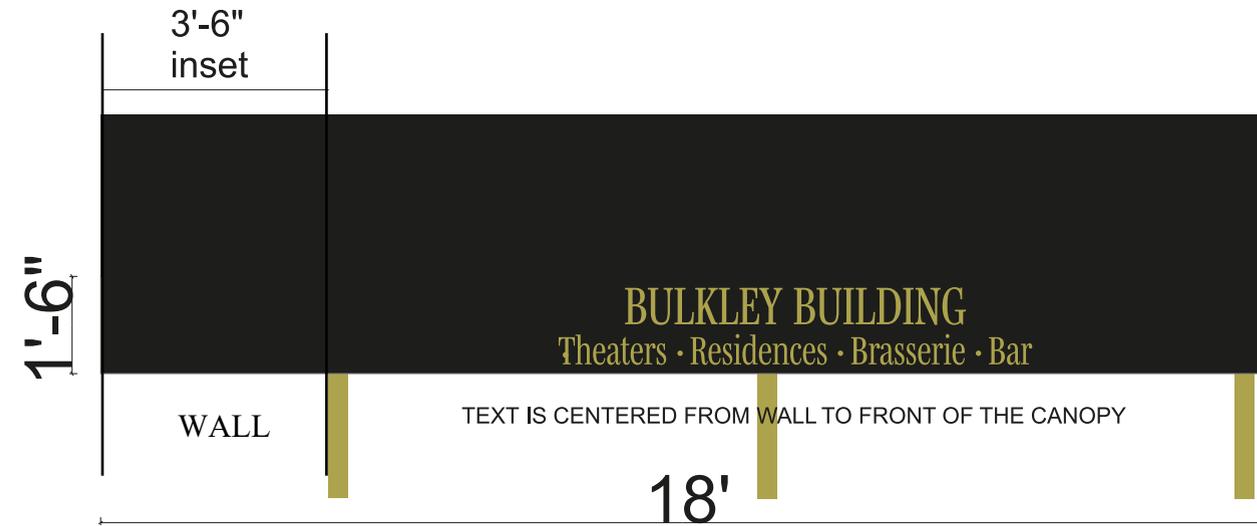


# PROPOSED GRAPHIC LAYOUT

BULKLEY BUILDING THE BRASSERIE CANOPY  
FONT: MENCKEN STANDARD NARROW

COLOR: BRASS

LETTERING



13'-8"



LOGO 28"W X 28"H CENTERED ON THE NOSE

ADDRESS 6"H HIGH CENTERED ON THE NOSE

**AWNING SIZE 13'-8" W x 4'-0" H x 18'-0" P**



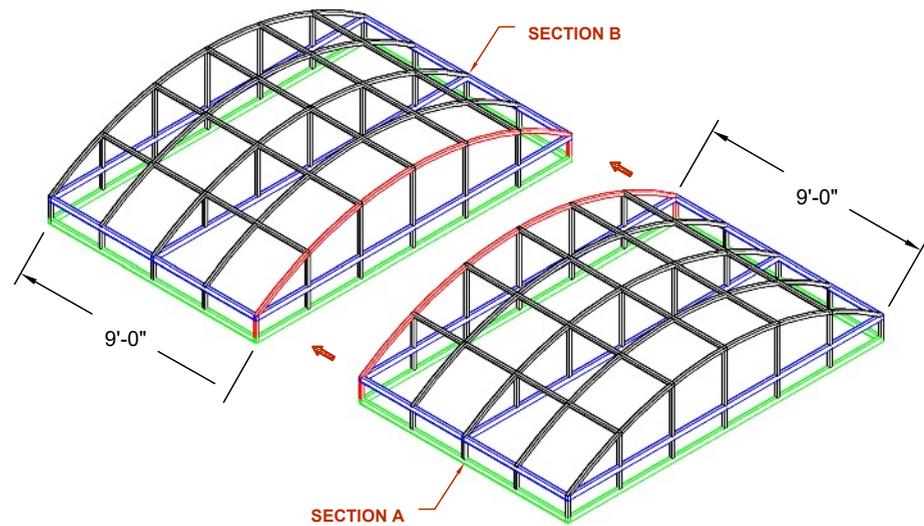
-  1" SQ. PLAIN MEMBERS
-  1" SQ. STAPLE
-  MEMBERS 1x2" RECT.

**ASSEMBLED FREESTANDING AWNING FRAME**  
**QTY: ONE (1) 13'-8" W x 4'-0" H x 18'-0" P**

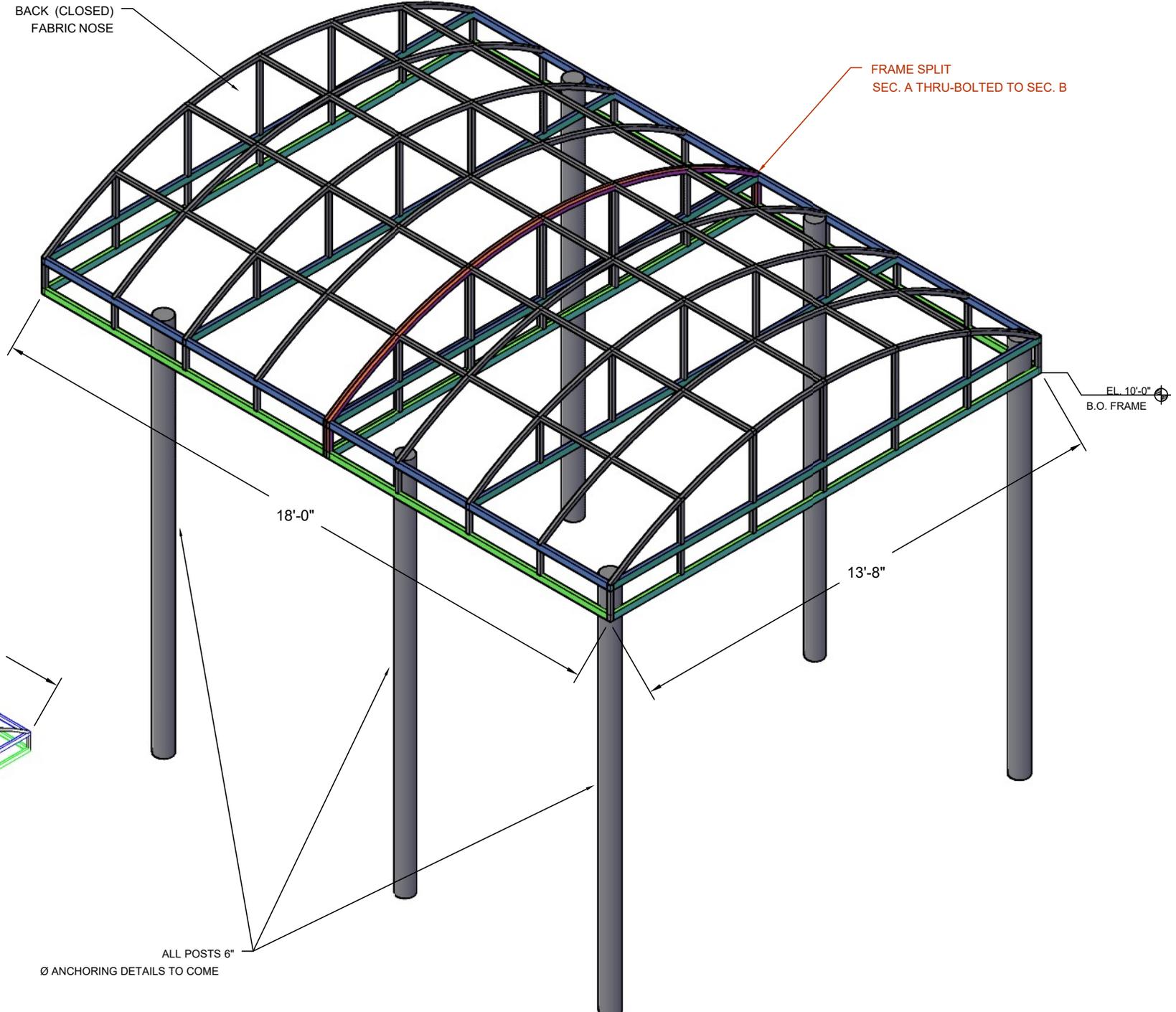
**AWNING FRAME / FABRIC**

1. FRAMEWORK TO BE CONSTRUCTED OF WELDED 1" (0.090 WALL 6063-T6), ALUMINUM STAPLE CHANNEL TUBING.
2. FRAME HAS CLOSED FRONT / BACK NOSES.
3. FABRIC ATTACHMENT: STAPLE
4. FABRIC MFG / COLOR: BLACK RECSYSTEM FR
5. POWDERCOAT COLOR: TBD

**EXPLODED SECTIONS**



FREESTANDING CANOPY



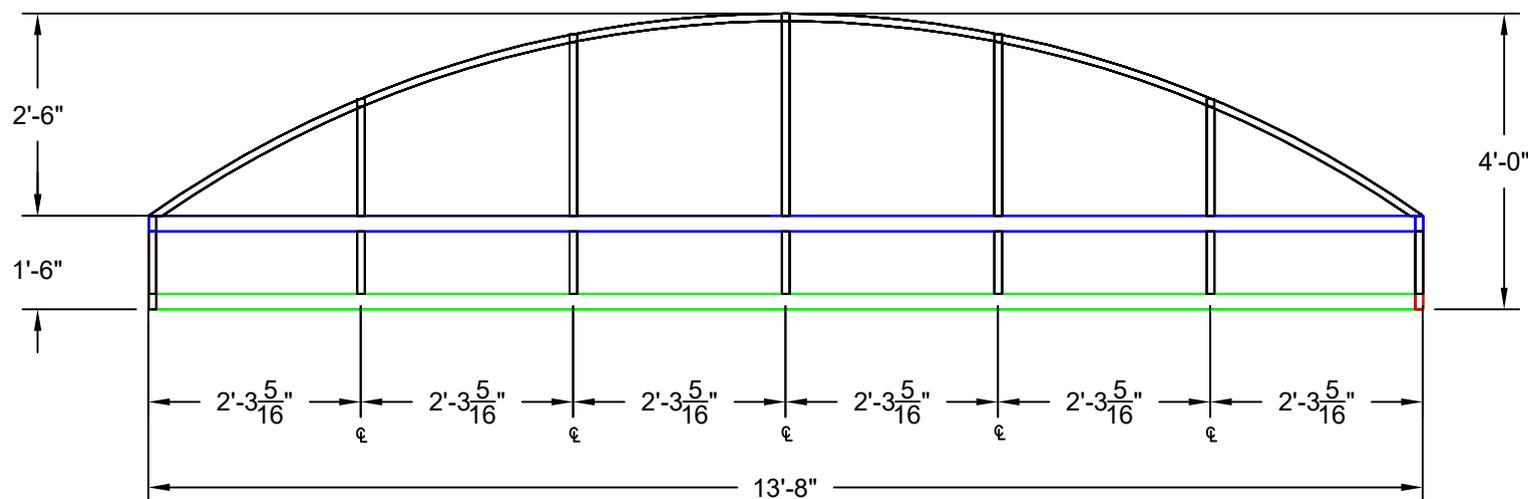
**ASSEMBLED CANOPY FRAME**



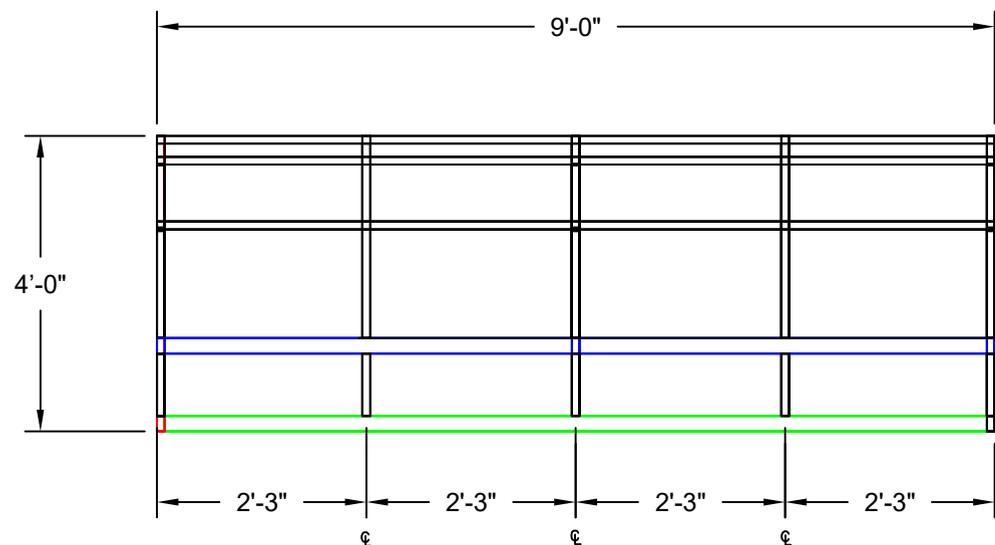
**SECTION FRAME QTY: TWO (2)**  
**SECTIONS A & B**  
**13'-8" W x 4'-0" H x 9'-0" P**

-  1" SQ. PLAIN MEMBERS
-  1" SQ. STAPLE MEMBERS 1x2"
-  RECT. PLAIN MEMBERS 1x2"
-  RECT. STAPLE MEMBERS

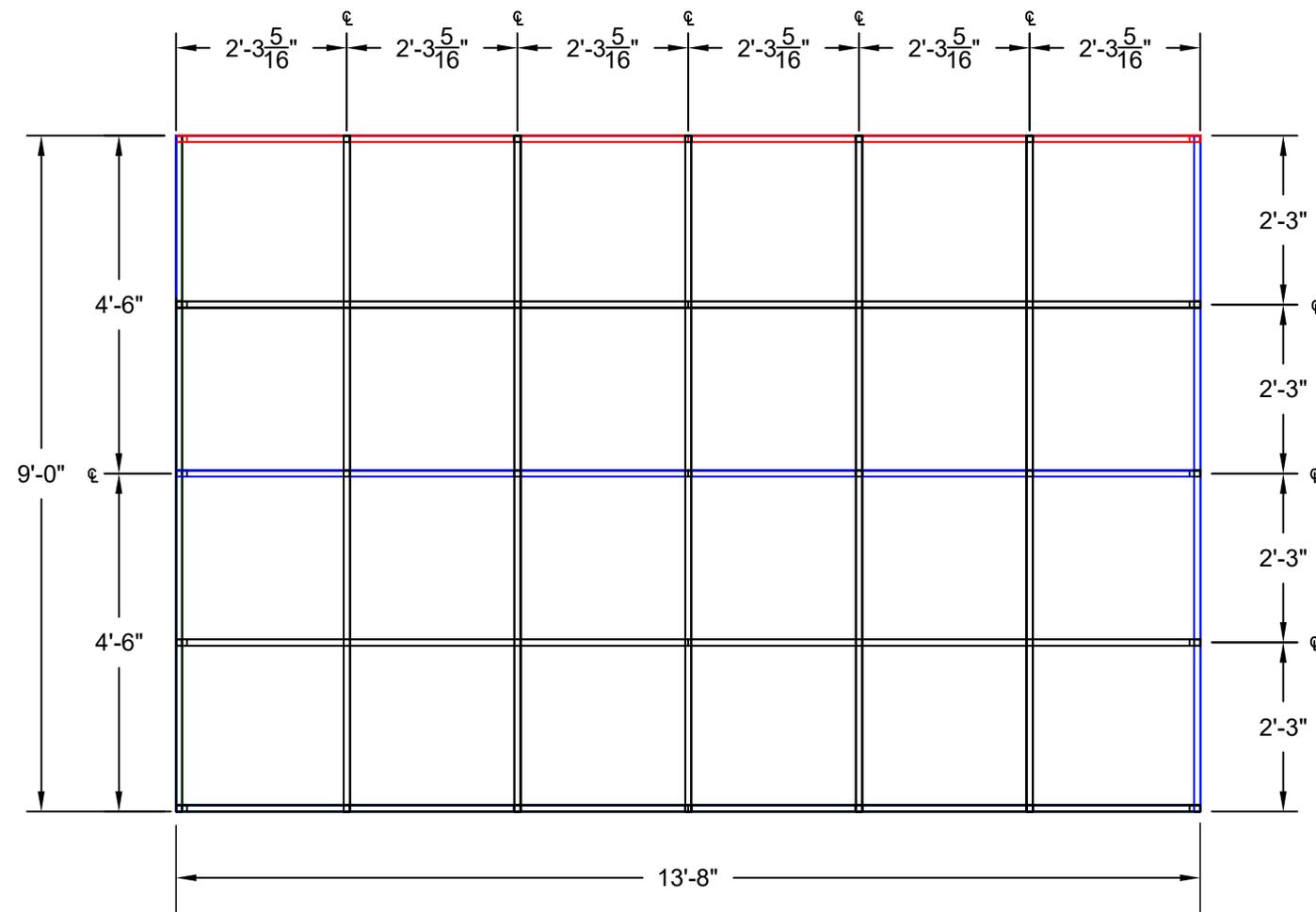
**FREESTANDING CANOPY**



**AWNING FRAME FRONT VIEW (TYPICAL)**



**AWNING FRAME LEFT VIEW (TYPICAL)**



**AWNING FRAME TOP VIEW (TYPICAL)**

**AWNING FRAME / FABRIC NOTES:**

1. FRAMEWORK TO BE CONSTRUCTED OF WELDED 1" SQ. & 1x2" RECT. (0.090 WALL 6063-T6), ALUMINUM STAPLE CHANNEL TUBING.
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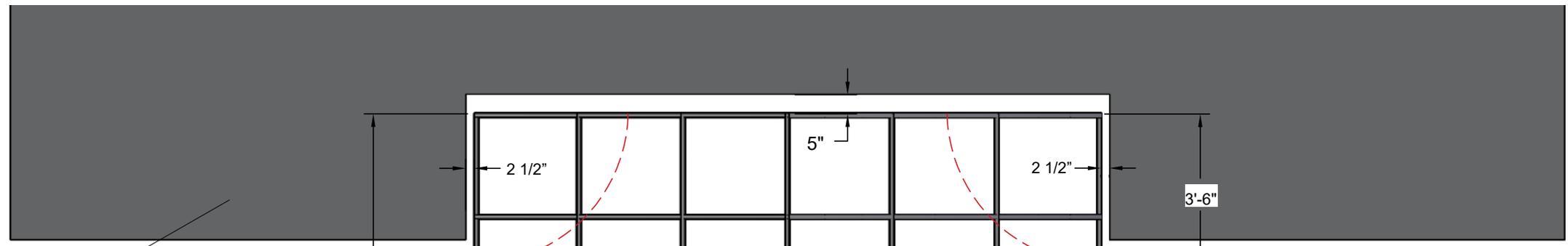
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- WIND LOAD 20.7 PSF (90 mph) OBC 1609
- SNOW LOAD 30.0 PSF OBC 1608



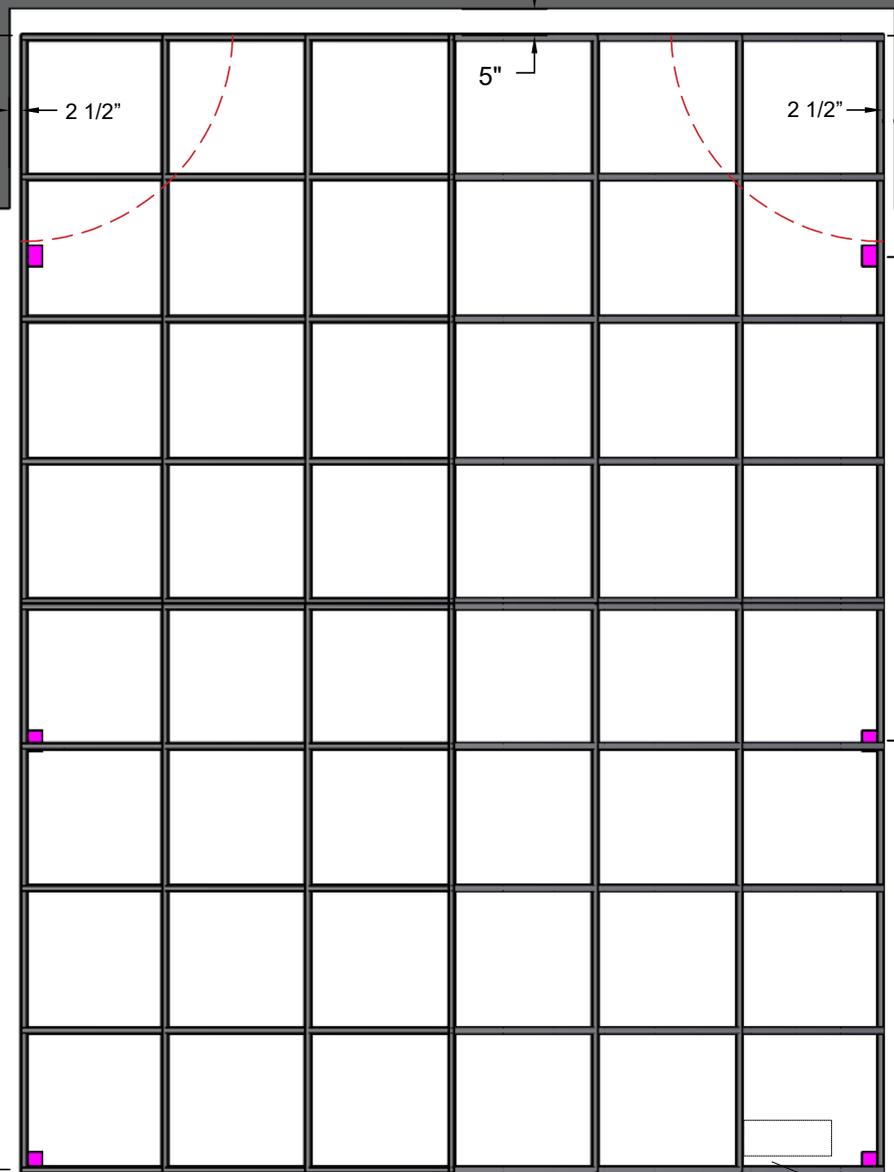
POST LOCATIONS

DOOR SWEEP PATH

ASSEMBLED AWNING FRAME QTY: ONE (1)  
13'-8" W x 4'-0" H x 18'-0" P



SHADED AREA REPRESENTS BUILDING



18'-0"

13'-8"

3'-6"

7'-8"

6'-10"

FREESTANDING CANOPY

MIDDLE POSTS, IF NEEDED, WILL ALIGN WITH RAILINGS OF PATIOS TO EITHER SIDE OF THE CANOPY. WE WILL EXPLORE THE PROSPECT OF AVOIDING HAVING THESE MIDDLE POSTS WHEN ENGINEERING CALCS. ARE COMPLETED

**NOTE:**  
ALL POSTS: 6X6" RND. ALUMINUM

CAUTION WILL BE TAKEN TO NOT DISRUPT THE BRICKS AND THE BRICKS REMOVED WILL BE SAVED.

UTILITY POLE PYLON

FRONT RIGHT POST TO FALL BETWEEN ELECTRICAL VAULT AND UTILITY POLE. WE WILL EVALUATE THE IMPACT OF THIS POST LOCATION ONCE APPROVED.

ELECTRICAL VAULT

PLANVIEW WITH POST LOCATIONS



■ POST LOCATIONS

- - - DOOR SWEEP PATH

**ASSEMBLED AWNING FRAME QTY: ONE (1)**  
**13'-8" W x 4'-0" H x 18'-0" P**

SHADED AREA

FREESTANDING CANOPY

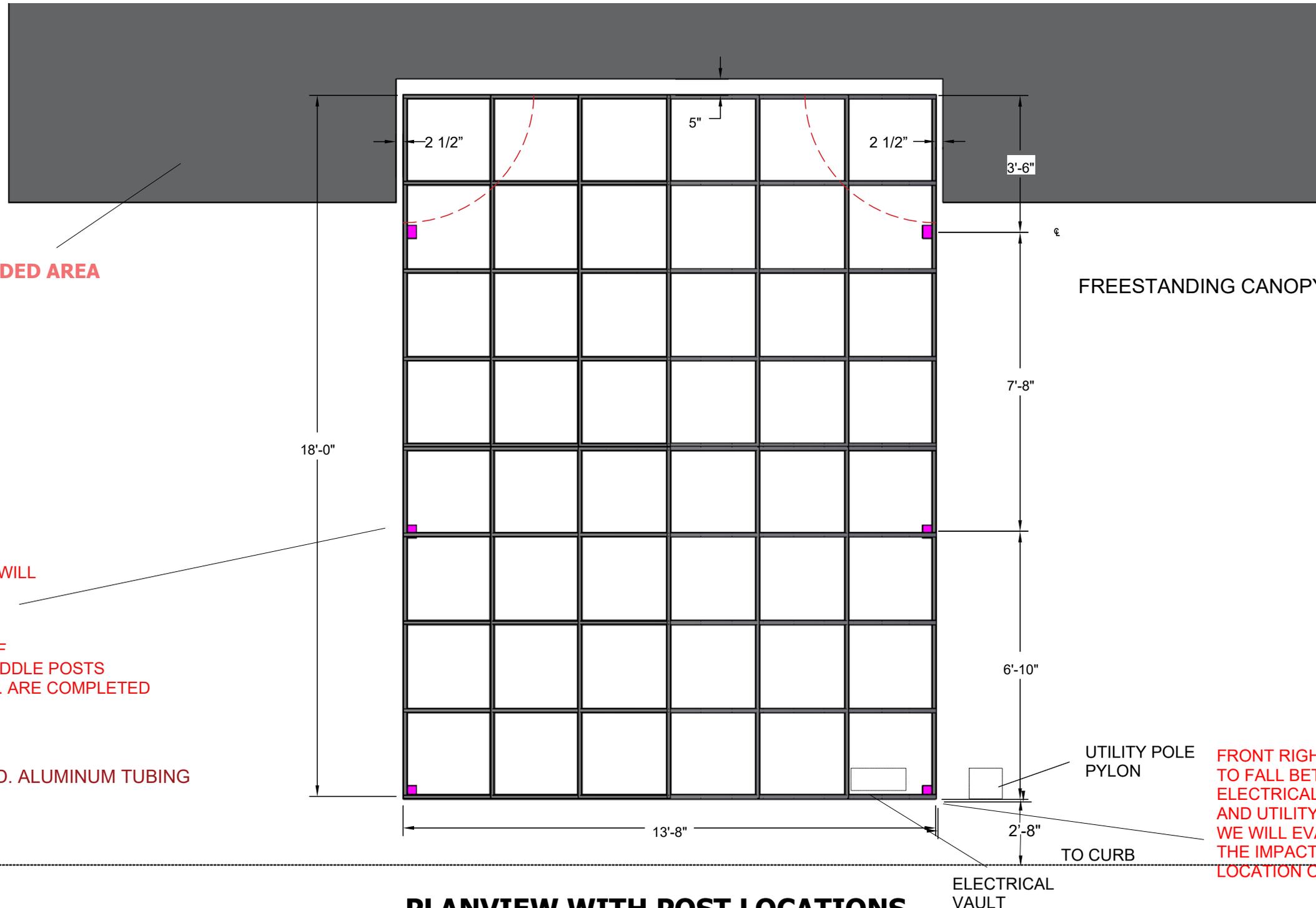
MIDDLE POSTS, IF NEEDED, WILL ALIGN WITH RAILINGS OF PATIOS TO EITHER SIDE OF THE CANOPY. WE WILL EXPLORE THE PROSPECT OF AVOIDING HAVING THESE MIDDLE POSTS WHEN ENGINEERING CALCS. ARE COMPLETED

**NOTE:**

ALL POSTS: 6" RND. ALUMINUM TUBING CUT @ 12'-0"

FRONT RIGHT POST TO FALL BETWEEN ELECTRICAL VAULT AND UTILITY POLE. WE WILL EVALUATE THE IMPACT OF THIS POST LOCATION ONCE APPROVED.

**PLANVIEW WITH POST LOCATIONS**



**MATERIALS LIST:**

**CANOPY FABRIC:** RECSYSTEM FR is a high performance fire-retardant fabric designed for outdoor applications. Woven solution-dyed modified acrylic yarn offering years of durability for holding its color, water repellency, and UV protection. The fabric meets NFPA 701 (2015), CSFM Title 19, and CPAI-84. The weight of the fabric is 10 ounces per square yard with the underside resin-coated for higher water repellency

**CANOPY COLOR:** BLACK

**CANOPY GRAPHICS WILL BE PAINTED ON THE FABRIC  
ON BOTH SIDES AND THE FRONT NOSE**

**GRAPHICS COLOR:** BRASS

**CANOPY UPPER FRAMEWORK:** Welded aluminum tubing with radius corners consisting of 1"square, 1"x2"rectangle, and 2"square components. This portion will be powder coated in Black.

**CANOPY POSTS:** Welded aluminum tubing using 6"round to be powder coated in a brass color to match existing colors on the entry way.

# Recsystem<sup>FR</sup>

Recsystem FR is the ultimate fire-retardant fabric for awnings and shade. Woven with inherently fire-retardant modified acrylic yarn, it is certified to meet all relevant FR codes. A proprietary back coating makes Recsystem FR waterproof when properly installed.



## Colors



FR-176  
Red



FR-102  
Forest Green



FR-103  
Black

**RECASENS USA**  
 BCN 1886

customerservices@recasensusa.com  
 www.recasensusa.com

## Technical Specifications

FABRIC CHARACTERISTICS		NORM
Composition	Modified solution-dyed acrylic fiber	
Type of fabric	Waterproof acrylic (When properly used and installed)	
Finish	Resin-coated weldable on 1 side. Special "Infinity" treatment for awnings that repels water and dirt, creating an anti-stain and anti-mold barrier, while allowing the canvas to breathe.	BS 7209
Color range	10 colors	
Use	Out door	

TECHNICAL FEATURES		
Weight	10 oz/yd <sup>2</sup>	UNE-EN 12127
Thickness	0,45 mm	UNE-EN ISO 5084
Width	60 "	
Standard roll length	65 yards	
Water column strength (warp/weft)	≥ 1000 mm	UNEEN 20811Tensile
Tear strength (warp/weft)	140/60 daN/5 cm	UNE-EN ISO 13934-1
repellency	4/2 daN	UNE-EN ISO 13937-2 Oil
Water repellency classification	4	UNE-EN ISO 14419
Spray test	NFPA 701 (2015), CSFM Title 19, CPAI-84	UNE-EN ISO 4920 Fire

QUALITY MANAGEMENT SYSTEM		
ISO 9001		ISO 9001

SAFETY, HEALTH AND ENVIRONMENT		
Ultraviolet protection factor - UPF	50+ (Excellent protection)	AS-NZS 4399



ADVANTAGES AND BENEFITS							
Textile look and feel	Wide range of colors	Printable fabrics	Suitable for marine environments	Easy to maintain	Energy saving	Cost saving	Stands the test of time



**RECASENS**  
 BCN 1886



The indicated technical values are average values allowing a tolerance of +/- 5%.  
 The technical specifications are provided for reference purposes only and are accurate as of the date printed. Information is subject to change as product improvements are made in response to market demands and technical advances. It is the customer's responsibility to verify that the data being referenced corresponds to the latest version of the product.  
 The client is responsible for the correct use of the product in accordance with the application for which it is designed and recommended. S.A. RECASENS is not responsible for the assembly and installation of the product. S.A. RECASENS is not responsible for the improper installation or use of its products, or for the failure to install or use its products in accordance with current laws and regulations.

# Case 26-011

Certificate of Appropriateness

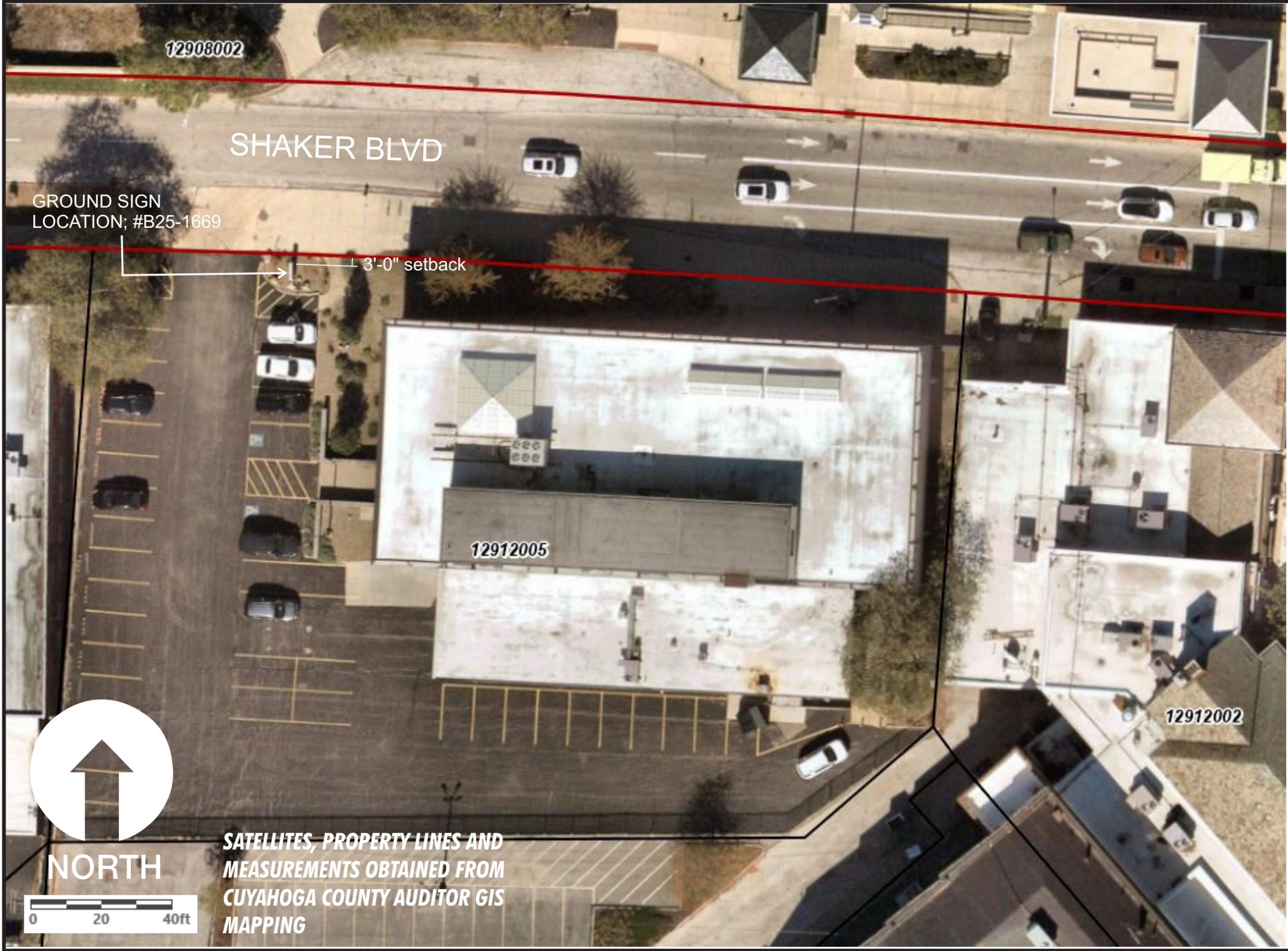
Shaker Square Historic District

## SEIU 13000 Shaker Boulevard

### Signage

Project Representatives: John Benedict, Brilliant Electric Sign Co.  
Ward 6: Councilmember Griffin





12908002

SHAKER BLVD

GROUND SIGN  
LOCATION; #B25-1669

3'-0" setback

12912005

12912002



NORTH



SATELLITES, PROPERTY LINES AND  
MEASUREMENTS OBTAINED FROM  
CUYAHOGA COUNTY AUDITOR GIS  
MAPPING

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED, FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	SEIU	SALESMAN	JRM	DATE	11/18/25	REVISION		DESIGN NO.	B25-1669 SP
LOCATION	13000 SHAKER BLVD., SHAKER HTS., OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2025
								FILE NAME	charlotte/ SEIU (shaker hts)



**NORTH**

**EXISTING CONDITION PROXIMITY PHOTO MAP**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

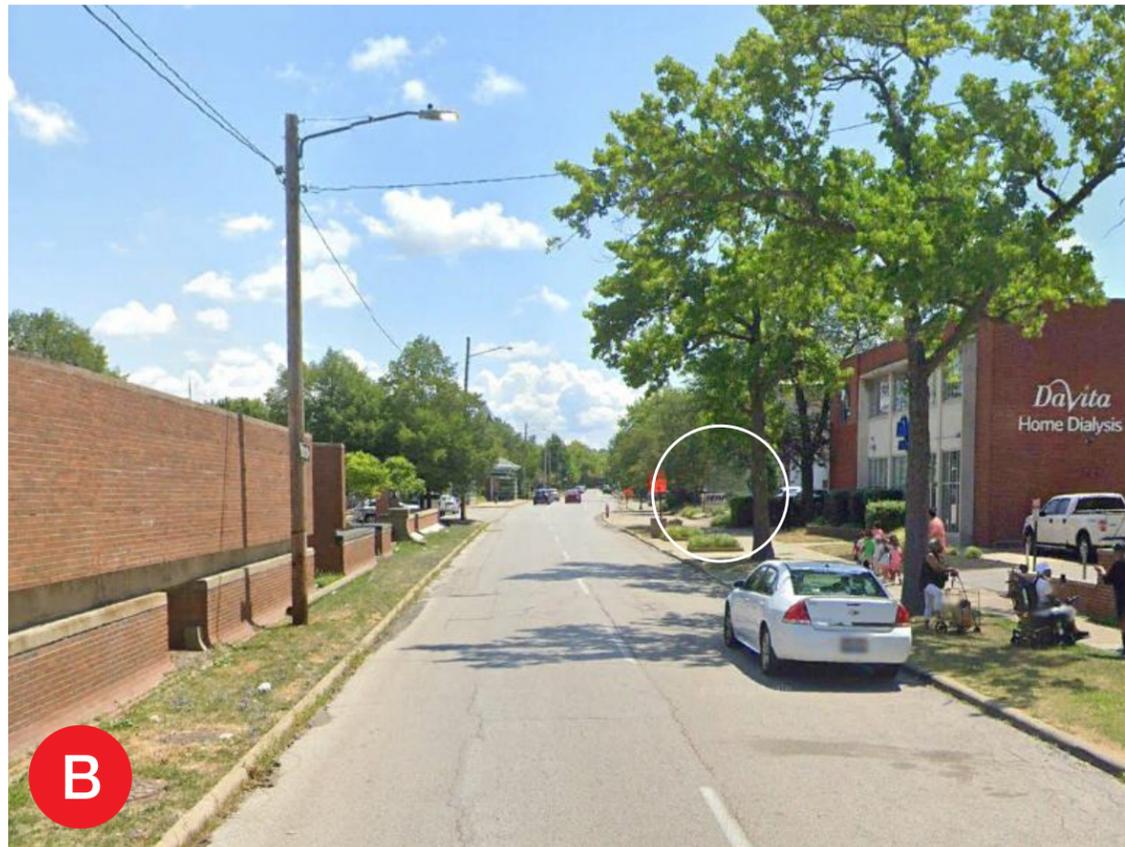


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COMPANY NAME	SEIU	SALESMAN	JRM	DATE	11/18/25	REVISION	DESIGN NO.
LOCATION	13000 SHAKER BLVD., SHAKER HTS., OH	DESIGNER	CP	SCALE	NTS		B25-1669 context
							COPYRIGHT © 2025
							FILE NAME charlotte/ SEIU (shaker hts)



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LOCATION	13000 SHAKER BLVD., SHAKER HTS., OH	DESIGNER	CP	SCALE	NTS		B25-1669 photos
							COPYRIGHT © 2025
							FILE NAME charlotte/ SEIU (shaker hts)

**EXISTING CONDITION PROXIMITY PHOTOS**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



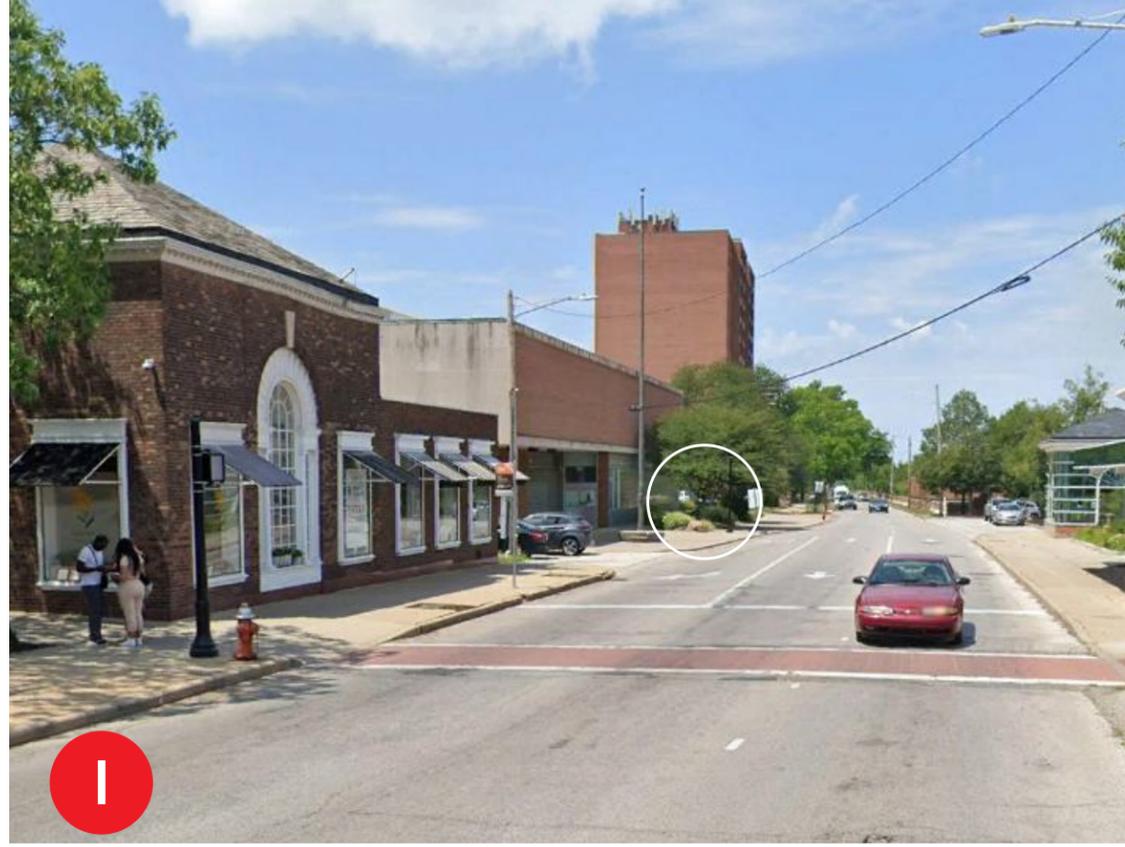
**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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LOCATION	13000 SHAKER BLVD., SHAKER HTS., OH	DESIGNER	CP	SCALE	NTS			COPYRIGHT ©	2025
								FILE NAME	charlotte/ SEIU (shaker hts)

**EXISTING CONDITION PROXIMITY PHOTOS**



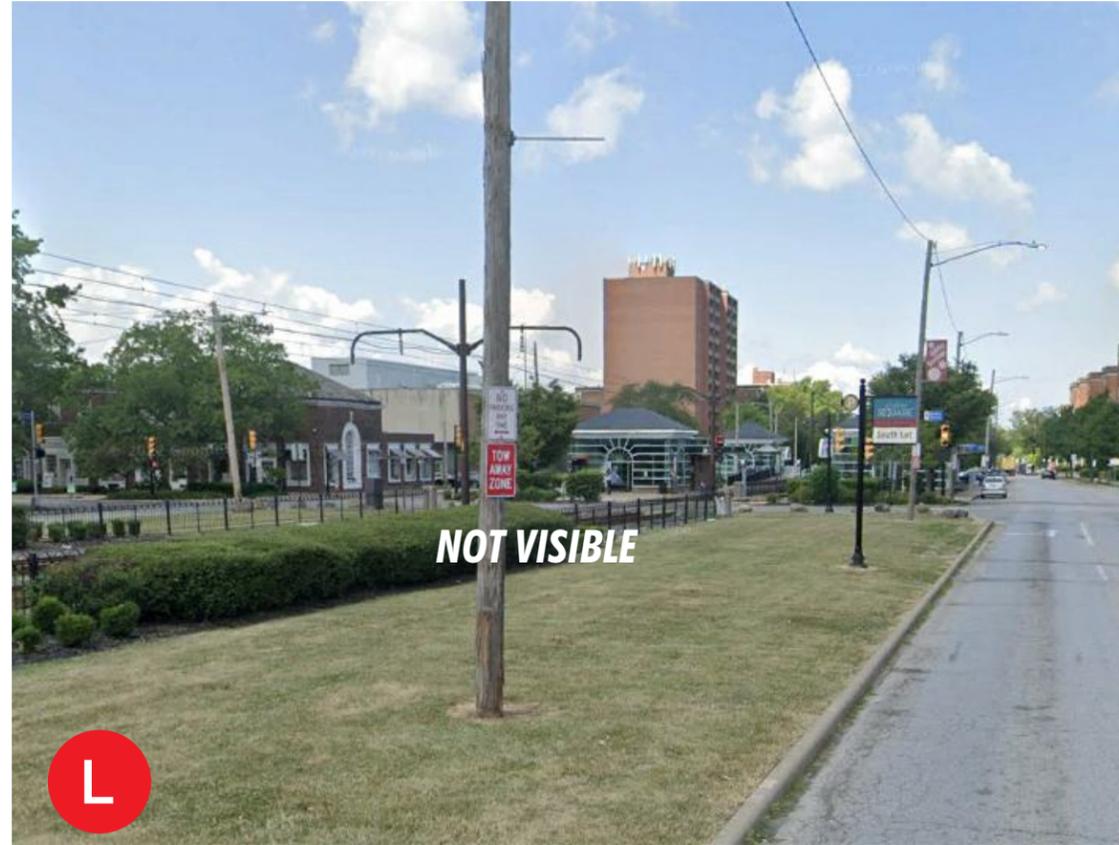
I



K



J



L

**EXISTING CONDITION PROXIMITY PHOTOS**

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



**Brilliant Electric Sign Co., Ltd.**

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							FILE NAME
							charlotte/ SEIU (shaker hts)



WEST FACE



WEST ELEVATION



EAST FACE



NORTH ELEVATION

**PHOTOS OF EXISTING SITE SIGNAGE**

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							FILE NAME charlotte/ SEIU (shaker hts)

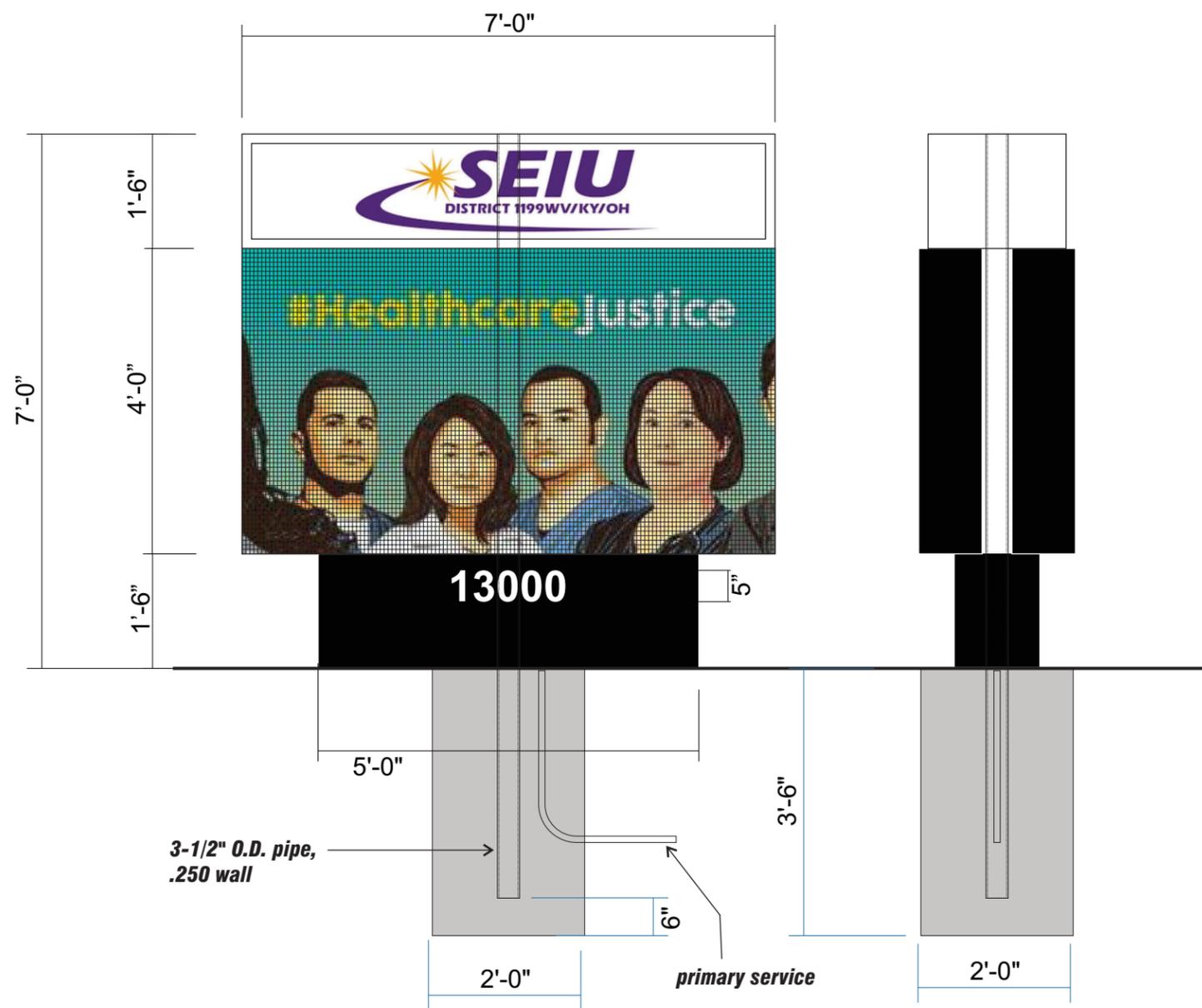


PHOTO RENDERING NTS

**EACH DISPLAY OF INFORMATION SHALL REMAIN STATIC OR FIXED FOR A MINIMUM OF 20 SECONDS**

SIGN ELEVATION: 1/2"=1'-0'

**Notes**

Manufacture & install one (1) double face, internally illuminated, aluminum, header cabinet with flat lexan faces; to be mounted on top of two (2) single face, internally illuminated, message centers, back to back; all mounted on pole cover; pole cover to have two (2) sets of 1/4" thick, PVC address numbers; one (1) on either side of the pole cover

- Faces to have first surface, translucent digital print; cabinet & trim to be painted white
- Message centers; full-color; 10mm (matrix to be determined); cabinets to be painted black
- Pole cover to be painted black; PVC address numbers to be painted white

**RATED 120 VOLTS**

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

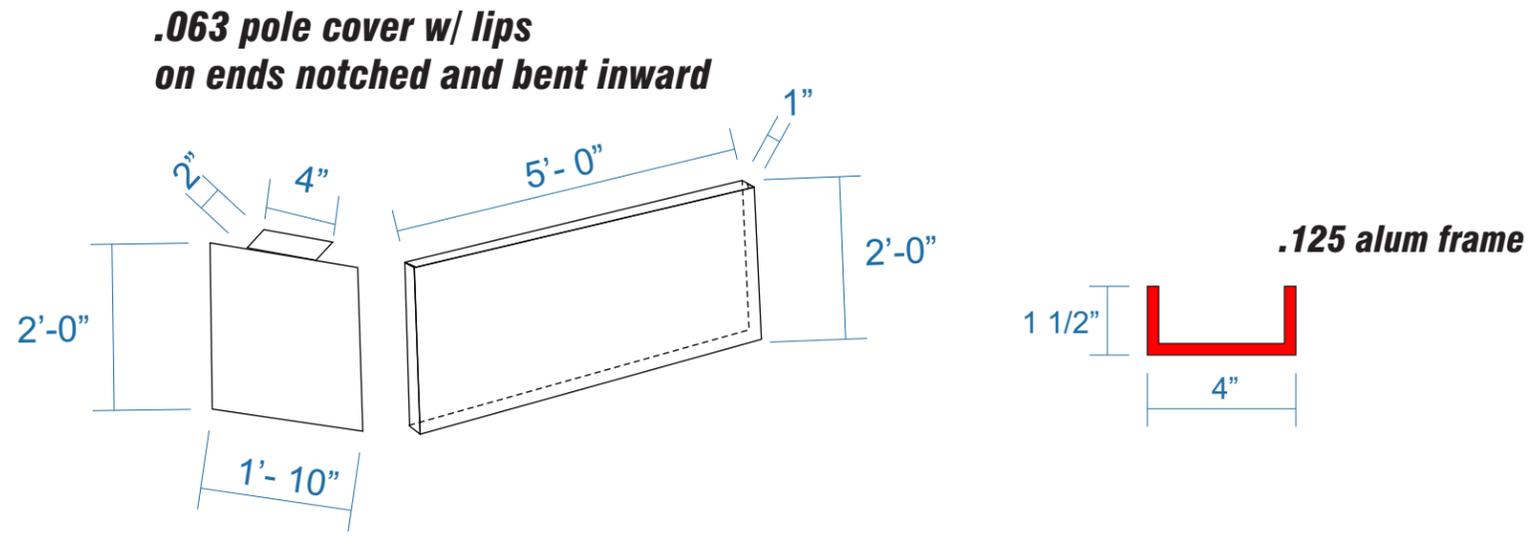
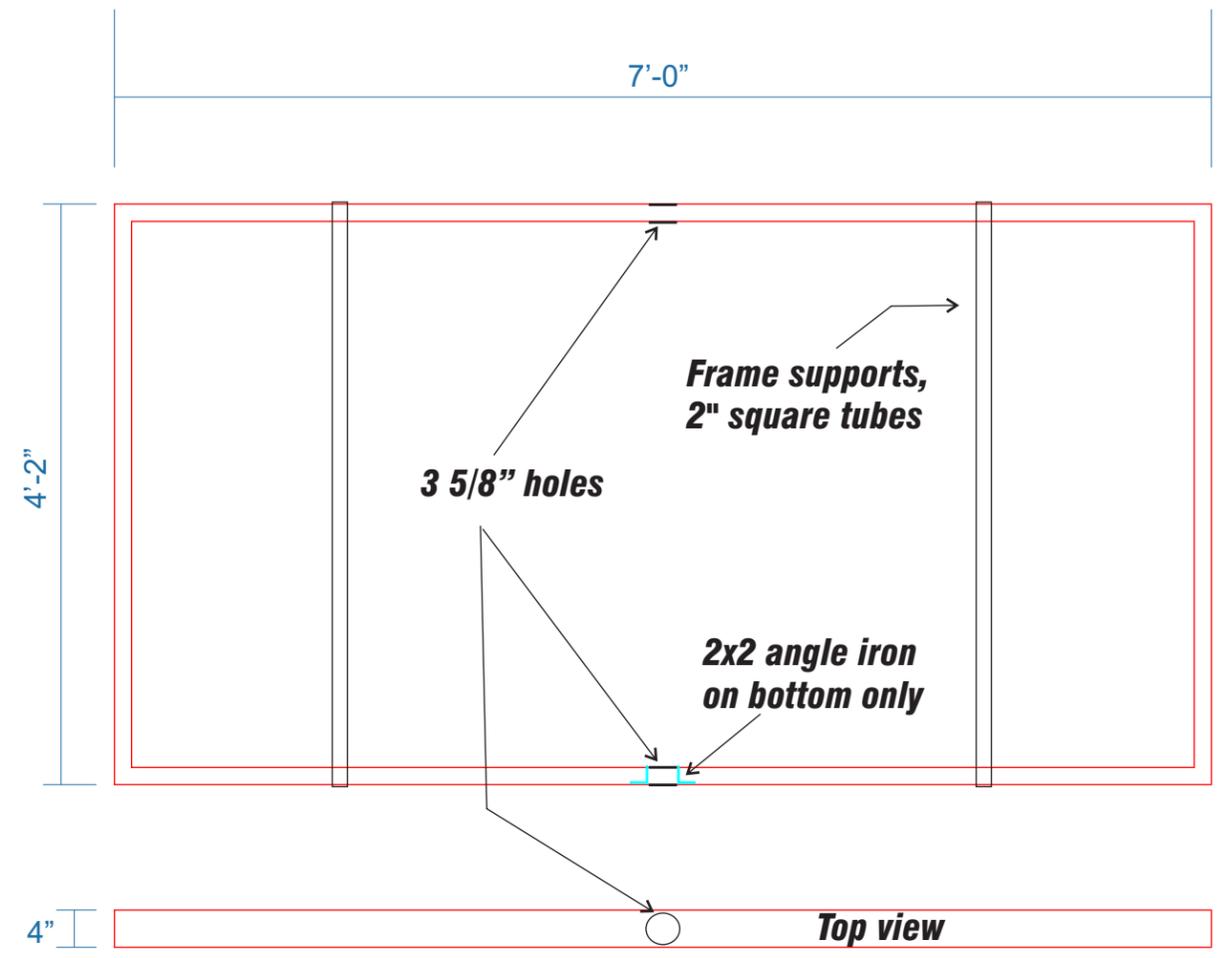
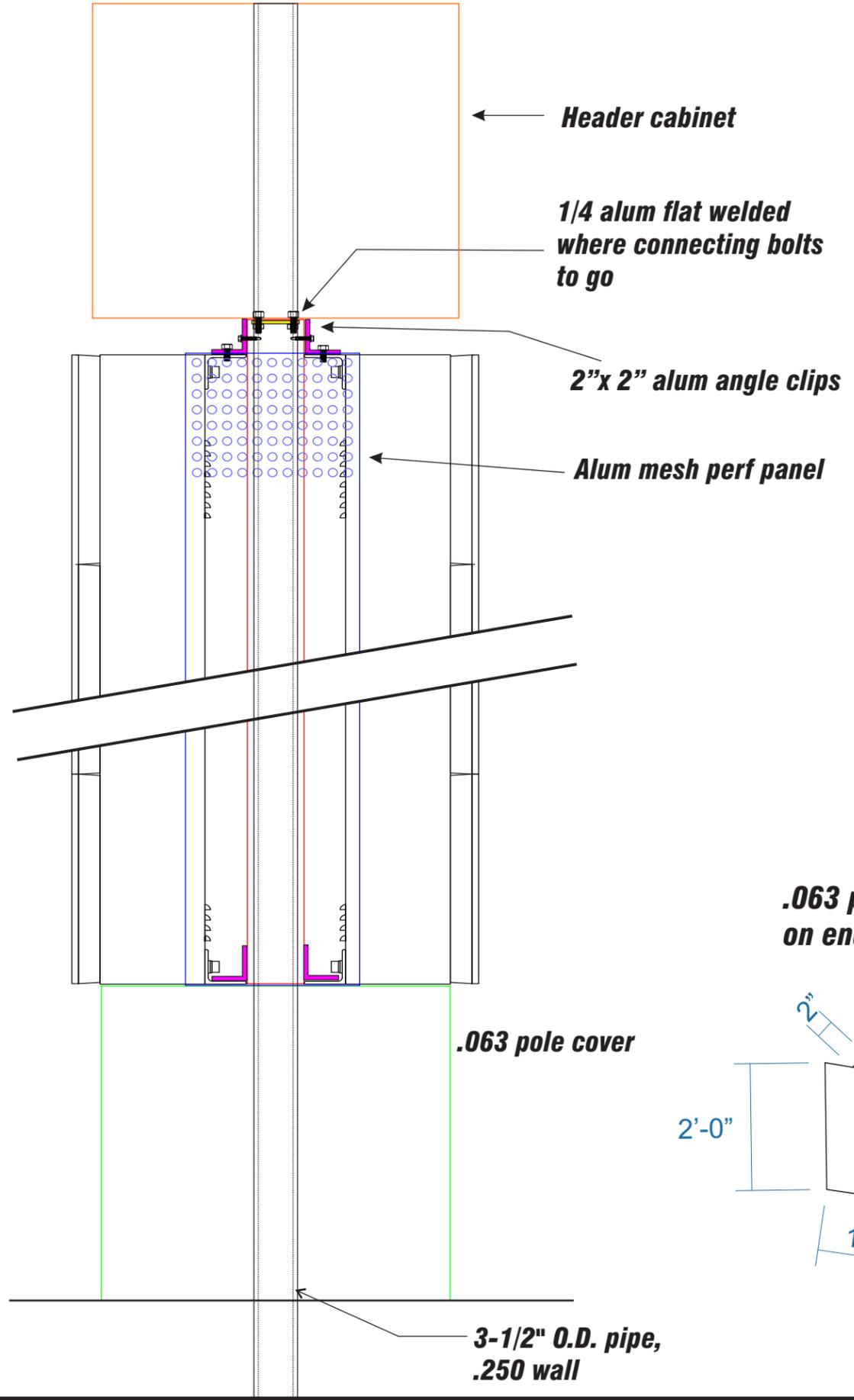


**Brilliant Electric Sign Co., Ltd.**

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COMPANY NAME	SEIU	SALESMAN	JRM	DATE	11/18/25	REVISION	2/17/26cp	DESIGN NO.	B25-1669
LOCATION	13000 SHAKER BLVD., SHAKER HTS., OH	DESIGNER	CP	SCALE	SHOWN		2/18/26cp	COPYRIGHT ©	2025
								FILE NAME	charlotte/ SEIU (shaker hts)



MESSAGE CENTER CONSTRUCTION

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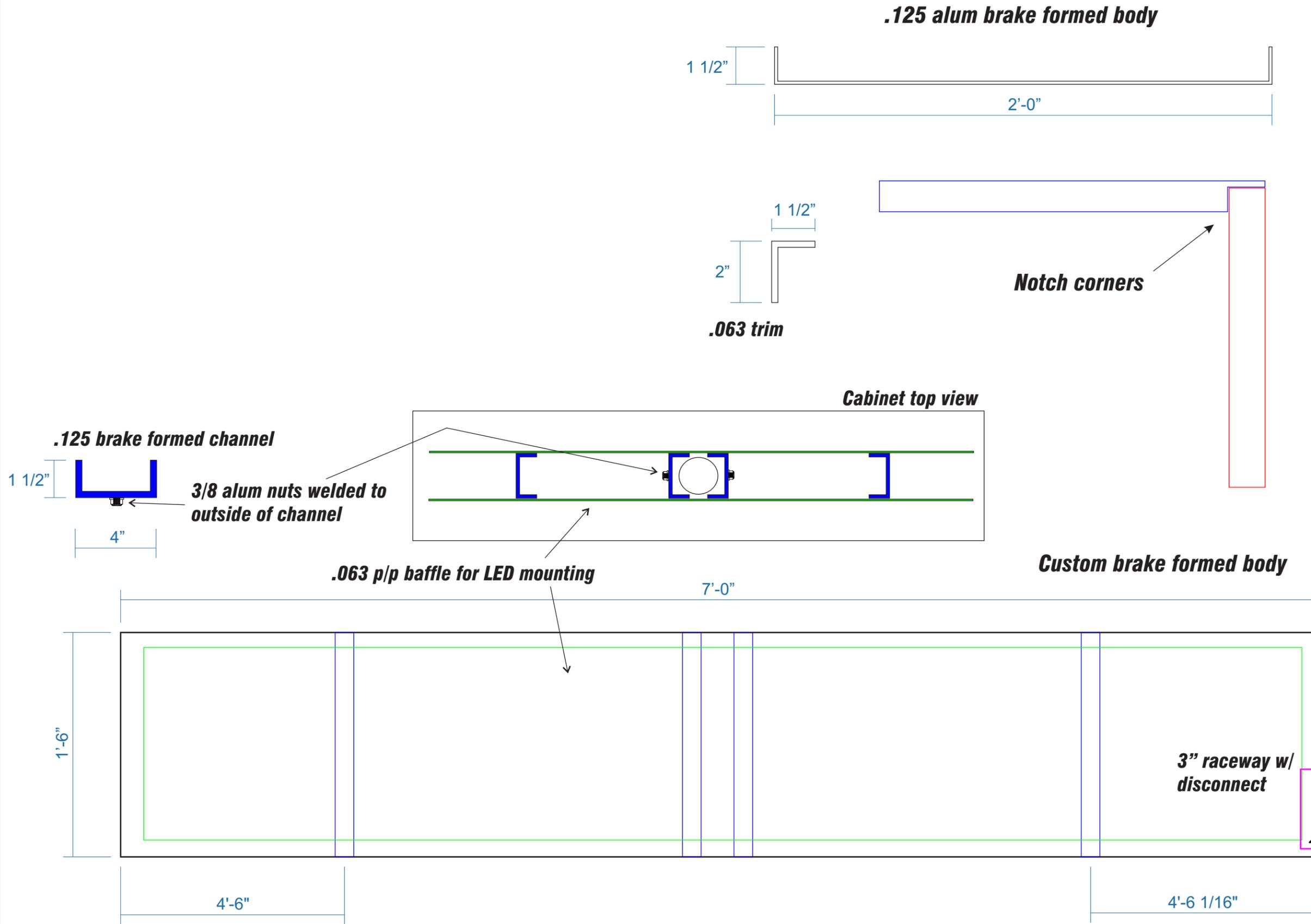


**Brilliant Electric Sign Co., Ltd.**  
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	SEIU	SALESMAN	JRM	DATE	11/18/25	REVISION	DESIGN NO.	B25-1669 cons
LOCATION	13000 SHAKER BLVD., SHAKER HTS., OH	DESIGNER	CP	SCALE	SHOWN		COPYRIGHT ©	2025
							FILE NAME	charlotte/ SEIU (shaker hts)

# HEADER CABINET CONSTRUCTION



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							FILE NAME
							charlotte/ SEIU (shaker hts)

# Case 26-013

Certificate of Appropriateness

Lorain Avenue Historic District

## 5016 Lorain Avenue

### Demolition

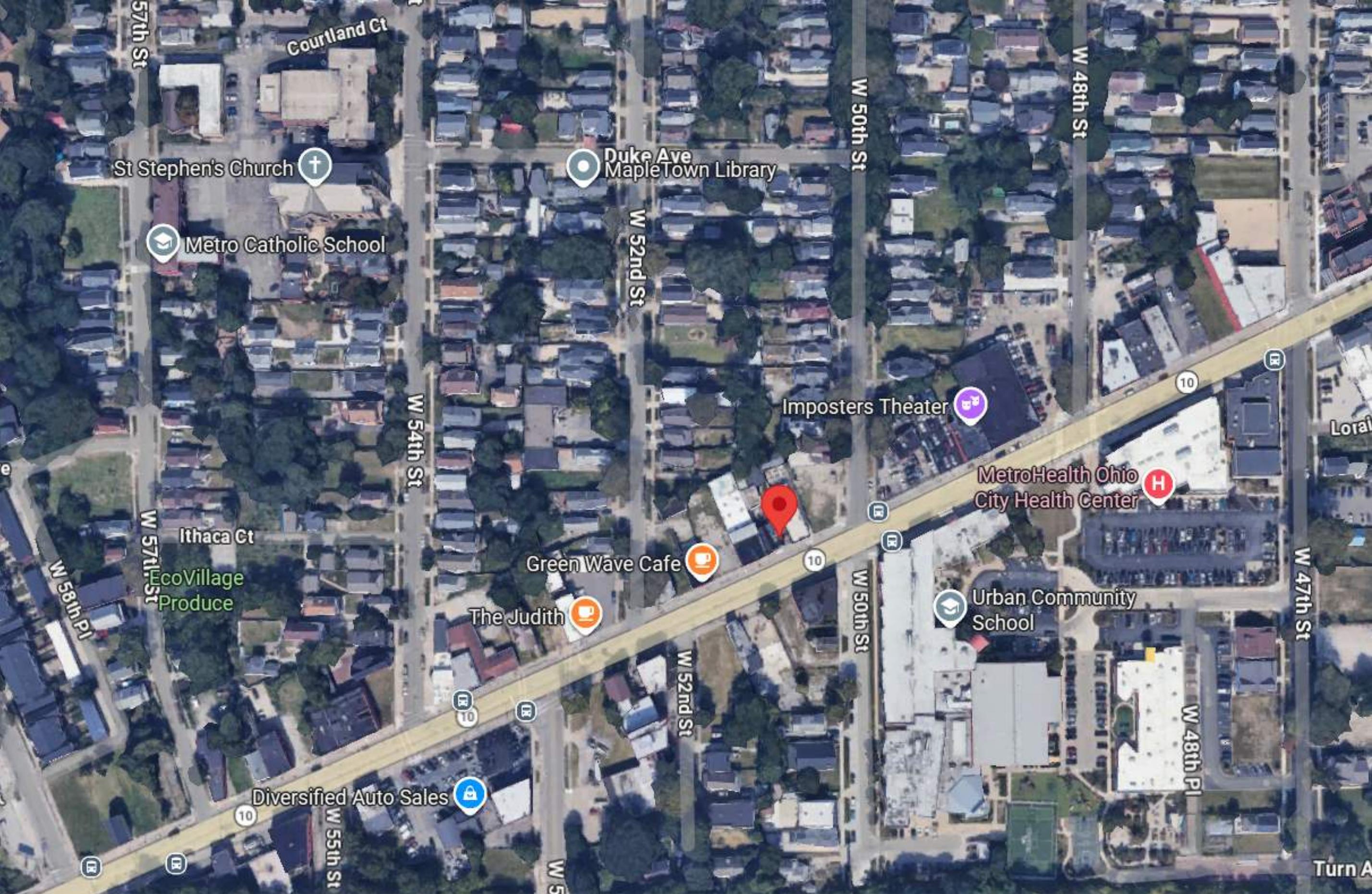
Project Representatives: Vincent Morelli, Owner

Ward 7: Councilmember Davis



DEMOLITION OF THE EXISTING BUILDING AT  
**5016 LORAIN AVENUE**

PRESENTATION TO  
CLEVELAND'S LANDMARKS COMMISSION  
**02.05.2026**





HISTORY OF BUILDING

KLIENS AUTO RADIATOR - OPEN FROM 1940s TO 2007



CURRENT IMAGE

EXISTING FACADE @ LORAIN AVE - FACING SOUTH

Hi There!

My name is Inspector Smith from the City of Cleveland, Department of Building & Housing. Attached are photos of the property located at 5016 Lorain Ave. has a collapsed roof. While it is enclosed behind a gate, the parapet wall is not properly supported and poses a fall hazard to the public. A violation has been written on the property already, however due to the condition of the structure, I am reaching out via email as well. Please respond with a plan of action to alleviate this hazardous condition.

*Thanks A Million!*



**Anastassia Smith**  
Residential Building Inspector  
Department of Building and Housing

**Office** 216.664.2245

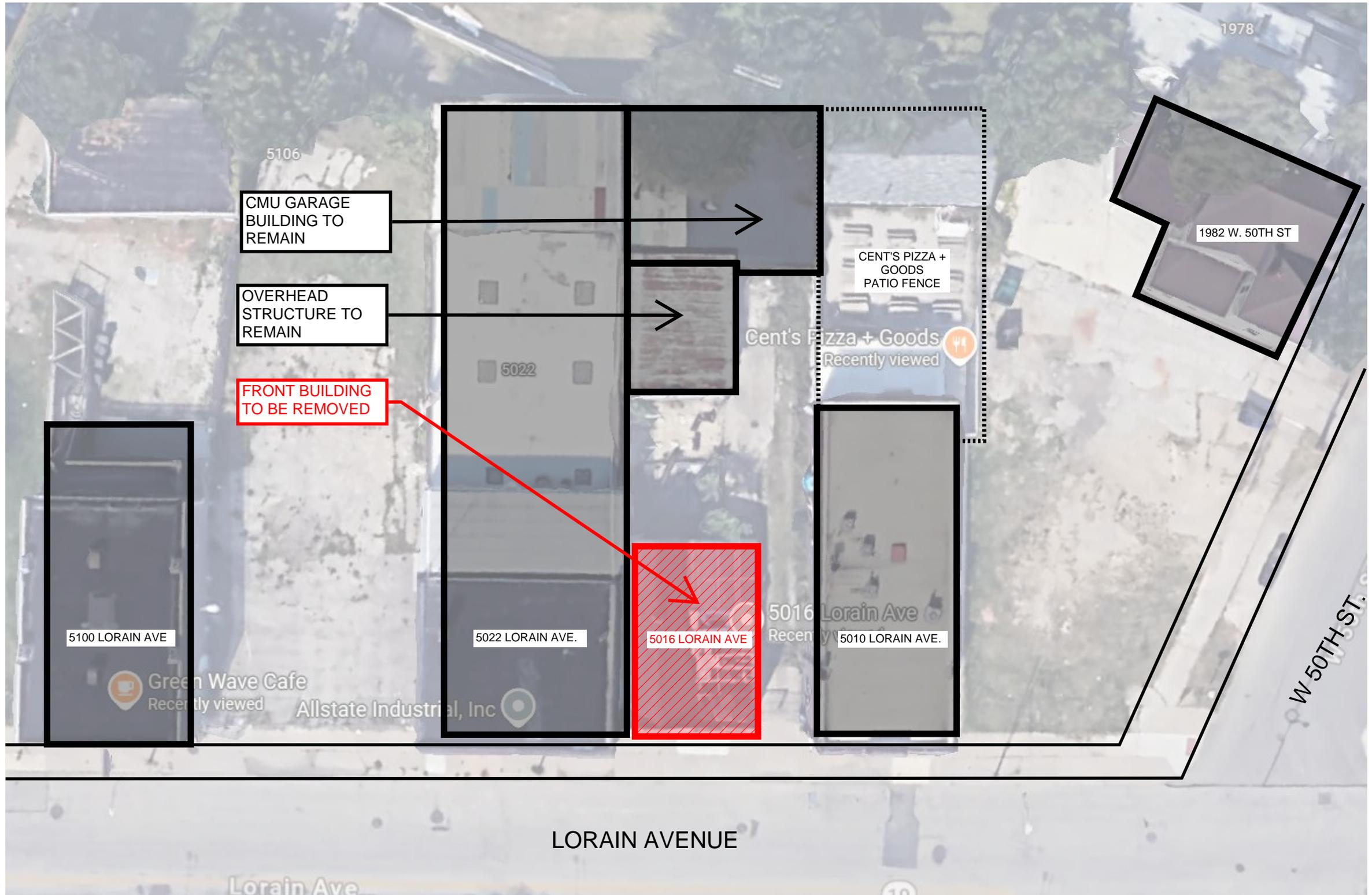
**Mobile** 216.857.1883

**Web** [dsmith21@clevelandohio.gov](mailto:dsmith21@clevelandohio.gov)

*The most efficient way to report any property  
maintenance concerns and receive ongoing updates  
is by using the city's new 311 portal:*

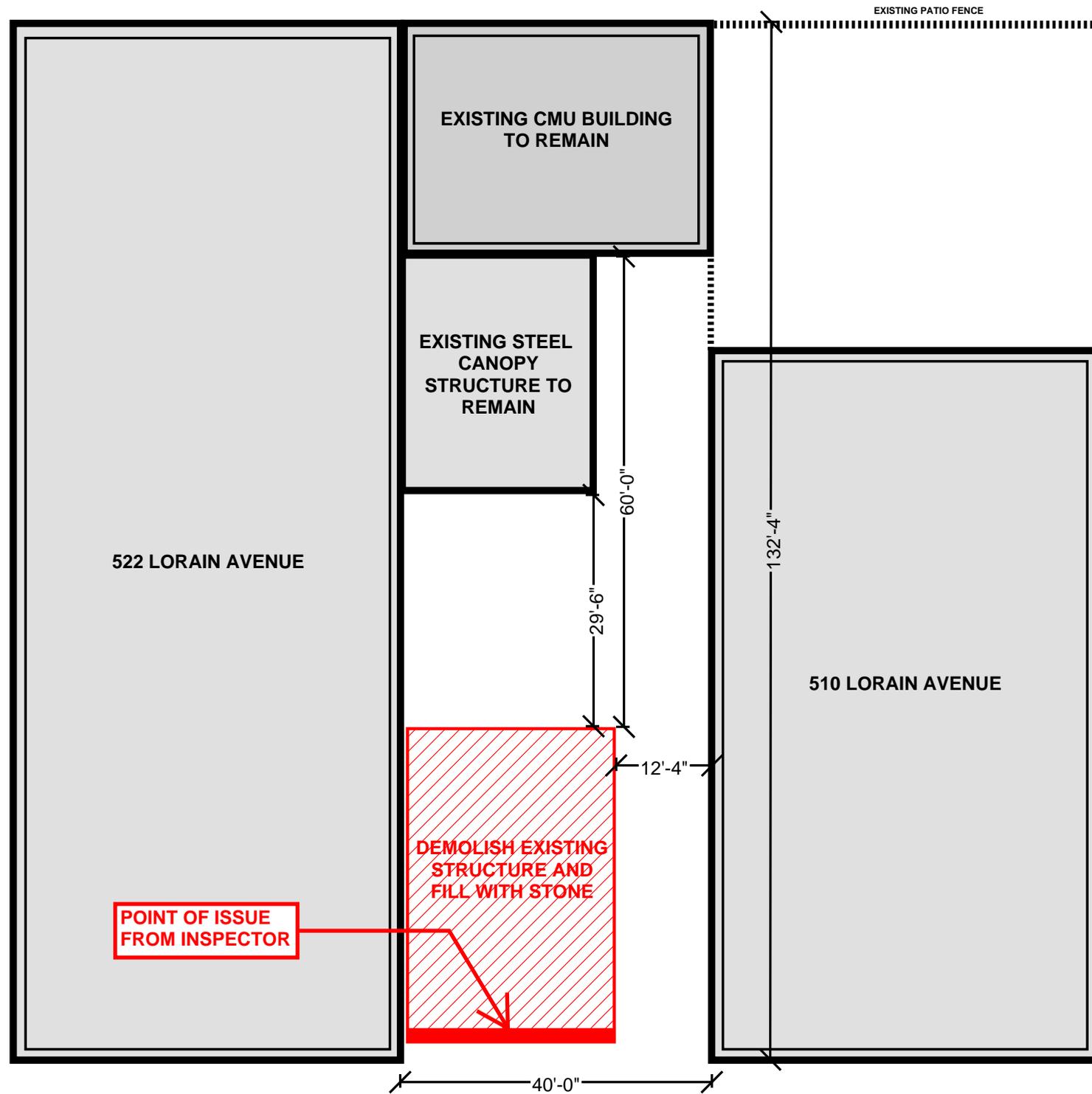
*[ClevelandOhio.gov/311](http://ClevelandOhio.gov/311)*





SITE CONTEXT

OVERHEAD SITE PLAN



LORAIN AVE.



BACK OF STRUCTURE TO BE DEMOED



BACK OF STRUCTURE TO BE DEMOED

EXISTING CONDITIONS



INTERIOR ROOF DAMAGE



DRIVEWAY BESIDE BUILDING

EXISTING CONDITIONS



STEEL CANOPY TO REMAIN



CMU BUILDING TO REMAIN

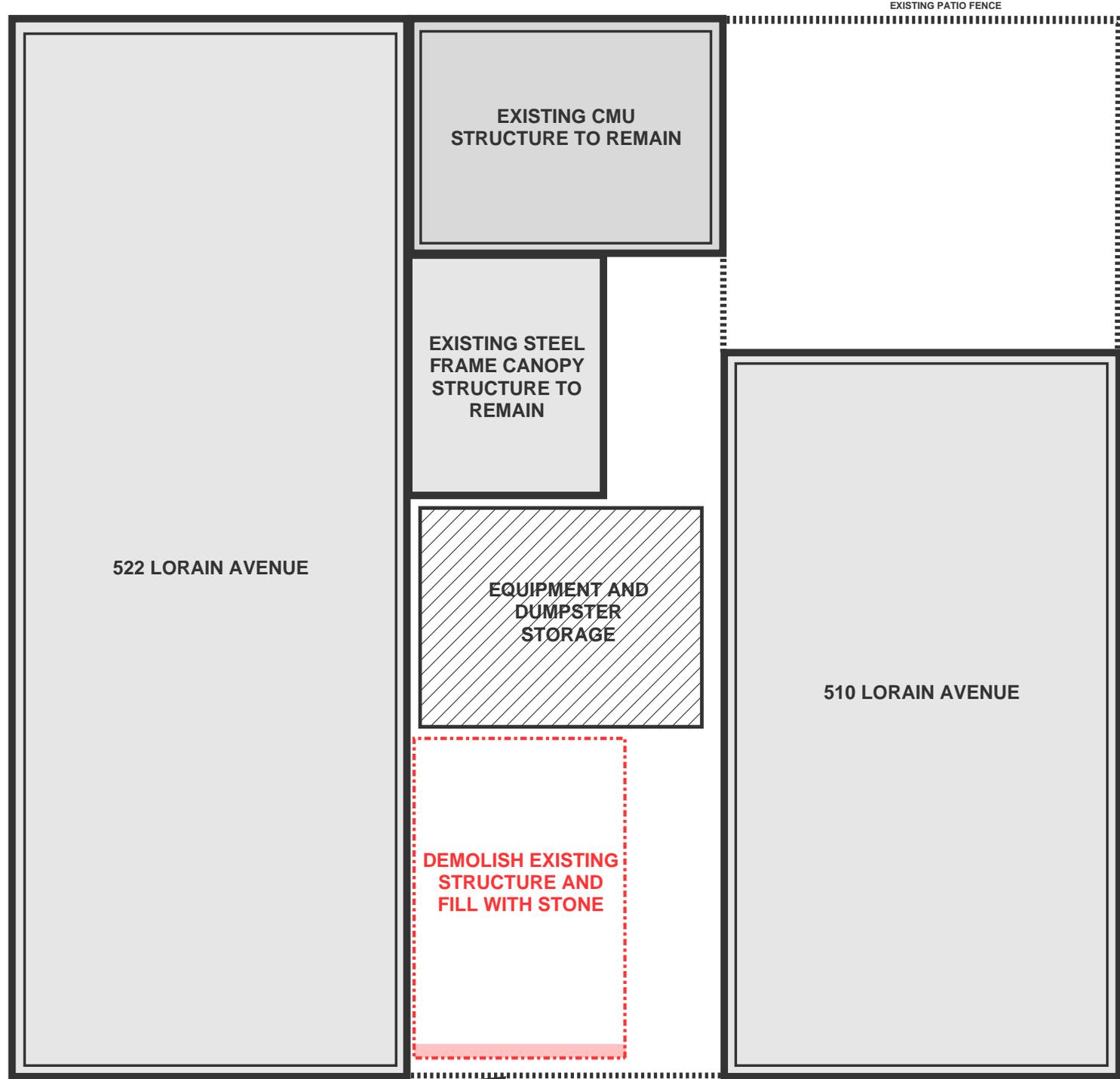
EXISTING CONDITIONS



TEMPORARY FENCE, MATERIAL TBD

PROPERTY PLAN POST DEMOLITION

TEMPORARY FENCE ADDITION



TEMPORARY FENCE

LORAIN AVE.

THANK YOU!

# Case 26-014

Certificate of Appropriateness

Shaker Square Historic District

## Trade Master's Institute 2860 East 130<sup>th</sup> Street

### Renovation

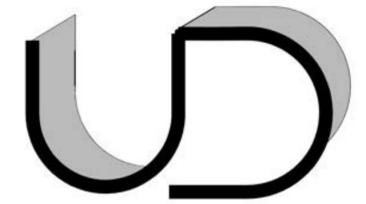
Project Representatives: Daniel Bickerstaff, II, Ubiquitous Design Ltd.

Ward 6: Councilmember Griffin

Previous Case 25-093



# TRADE MASTERS INSTITUTE



## BUILDING RENOVATION / CHANGE OF USE

2860 EAST 130TH STREET  
CLEVELAND, OH 44120

### PREPARED FOR:

NAYYIR AL MAHADI  
2860 EAST 130TH ST, CLEVELAND, OH, 44120  
P 216.314.7184 4agbuilders@gmail.com

### PREPARED BY:

Architect



**UBIQUITOUS DESIGN, LTD.**

ARCHITECTS  
3443 LEE ROAD OHIO 44120  
SHAKER HEIGHTS, OHIO 44120  
P 216.752.4444 F 216.752.5011 ARCAOTEK@UDLTD.COM

## FOR PERMIT ISSUANCE



Approval:  
X  
NAYYIR AL MAHADI Date

### DRAWING INDEX

#### GENERAL DATA

- T1.0 TITLE SHEET
- PD1.0 PROJECT DATA
- G1.0 GENERAL NOTES
- G2.0 TYPICAL DETAILS
- G2.1 TYPICAL DETAILS
- BZA1.0 ZONING CONDITIONS
- CD1.0 PROPOSED CODE PLAN

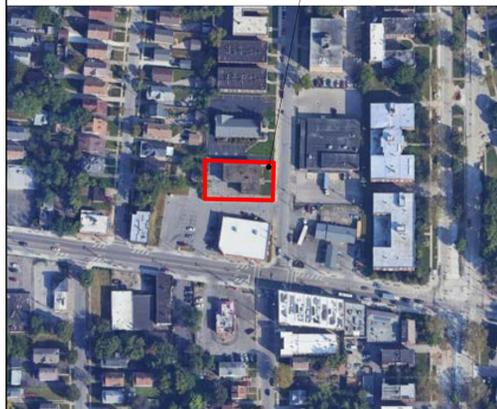
#### ARCHITECTURAL

- SP1.0 EXISTING CONTEXT PHOTOS - FACADE
- SP1.1 EXISTING CONTEXT PHOTOS - FIRST LEVEL
- SP1.2 EXISTING CONTEXT PHOTOS - FIRST LEVEL
- SP1.3 EXISTING CONTEXT PHOTOS - FIRST LEVEL
- SP1.4 EXISTING CONTEXT PHOTOS - FIRST LEVEL
- SP1.5 EXISTING CONTEXT PHOTOS - SECOND LEVEL
- SP1.6 EXISTING CONTEXT PHOTOS - SECOND LEVEL
- SP1.7 EXISTING CONTEXT PHOTOS - SECOND LEVEL
- SP1.8 EXISTING CONTEXT PHOTOS - SECOND LEVEL
- SP2.0 EXISTING SITE PLAN
- SP2.1 PROPOSED SITE PLAN
- SP3.0 DETAILS - SITE PLAN
- A1.0 EXIST. / DEMO PLANS
- A1.1 PROPOSED PLANS
- A2.0 EXISTING FACADES
- A2.1 EXISTING FACADES
- A2.2 PROPOSED FACADES
- A2.3 PROPOSED FACADES
- A3.0 ENLARGED PLANS AND DETAILS
- A3.1 ENLARGED PLANS AND DETAILS
- A3.2 ENLARGED PLANS AND DETAILS
- A3.3 DOORS, WINDOWS AND WALL DETAILS
- LM1.0 RENDERINGS

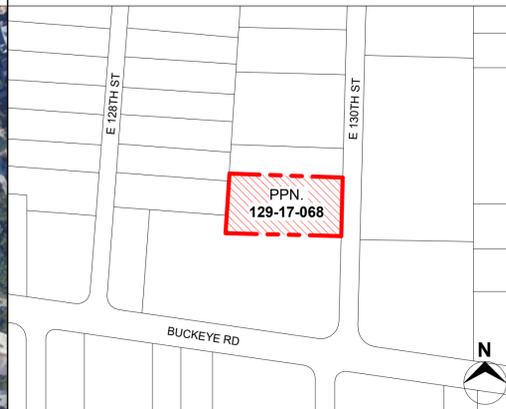
#### ENGINEERING

- E1.0 PROPOSED ELECTRICAL PLANS
- E1.1 PROPOSED LIGHTING PLANS
- M1.0 PROPOSED MECHANICAL PLANS
- P1.0 PROPOSED PLUMBING PLANS

### SITE AERIAL



### SITE VICINITY



### CODE INFORMATION

- A. PROJECT LOCATION: 2860 EAST 130TH STREET  
CLEVELAND, OH 44120
- B. LOT:  
PERMANENT PARCEL NUMBER: 129-17-068  
LOT SIZE: 0.27 ACRES  
FRONTAGE: 80'  
DEPTH: 148.25'
- C. PROJECT DESCRIPTION: WE ARE SEEKING TO RENOVATE AN EXISTING BUILDING FORMERLY USED AS A DAY CARE INTO A CONSTRUCTION TRADE TRAINING FACILITY
- D. NATURE OF PROJECT: RENOVATION
- E. USE GROUP: BUSINESS [B]
- F. CONSTRUCTION TYPE: III-B
- G. WORK AREA LIMIT: 5,890 S.F.
- H. TYPE OF MECHANICAL: NEW FORCED AIR HEATING AND COOLING

### REFERENCED CODES

- ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO:
- 2024 OHIO BUILDING CODE (OBC)
  - 2024 OHIO MECHANICAL CODE (OMC)
  - 2024 OHIO PLUMBING CODE (OPC)
  - NFPA NATIONAL ELECTRICAL CODE 2023
  - LIFE SAFETY CODE, NFPA 101-2021
  - 2021 ICC/ANSI A117.1
  - 2024 OHIO FIRE CODE (OFC)
  - 2020 NFPA NATIONAL ELECTRICAL CODE
  - 2018 LIFE SAFETY CODE
  - 2009 ICC/ANSI A117.1
  - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
  - 2010 DEPT. OF JUSTICE ADA STANDARDS FOR ACCESSIBLE DESIGN



W. Daniel Bickerstaff, II License No. 12608  
Expires on December 31, 2027

1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION.  
 2. PRIOR TO COMMENCING ANY CONSTRUCTION WORK, OR ORDERING NEW MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING.  
 3. DO NOT USE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT.  
 4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.



1. EAST FACADE



2. SOUTH-WEST FACADE



3. SOUTH-WEST FACADE - EXIT/ENTRY



4. SOUTH-WEST FACADE



5. SOUTH FACADE



6. EAST FACADE



7. EAST FACADE



8. NORTH FACADE



9. NORTH-WEST FACADE

1 EXISTING CONTEXT PHOTOS  
SP1.0



Project Team:

**UBIQUITOUS DESIGN, LTD.**  
ARCHITECTS

3443 LEE ROAD  
SHAKER HEIGHTS, OHIO 44120  
P 216.752.4444 F 216.752.5011 ARCATK@UOLTD.COM



*W. Daniel Bickerstaff, II*  
W. Daniel Bickerstaff, II License No. 12608  
Expires on December 31, 2027

GC/HD/RAC MEETING	WDB II	02.17.2026
PERMIT ISSUANCE	WDB II	12.17.2025
ISSUED	BY	DATE

**TRADE MASTERS INSTITUTE**

BUILDING RENOVATION / CHANGE OF USE

2860 EAST 130TH STREET  
CLEVELAND, OH 44120

CONSTRUCTION DOCUMENTS

**UD** COPYRIGHT STATEMENT  
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Approved:	X	Date
Consultant Project #	Drawn by:	Checked by:
	NN - DB	WDB, II

EXISTING CONTEXT PHOTOS - FACADE

Scale:	Sheet:
Date:	<b>SP1.0</b>
02.20.2026	

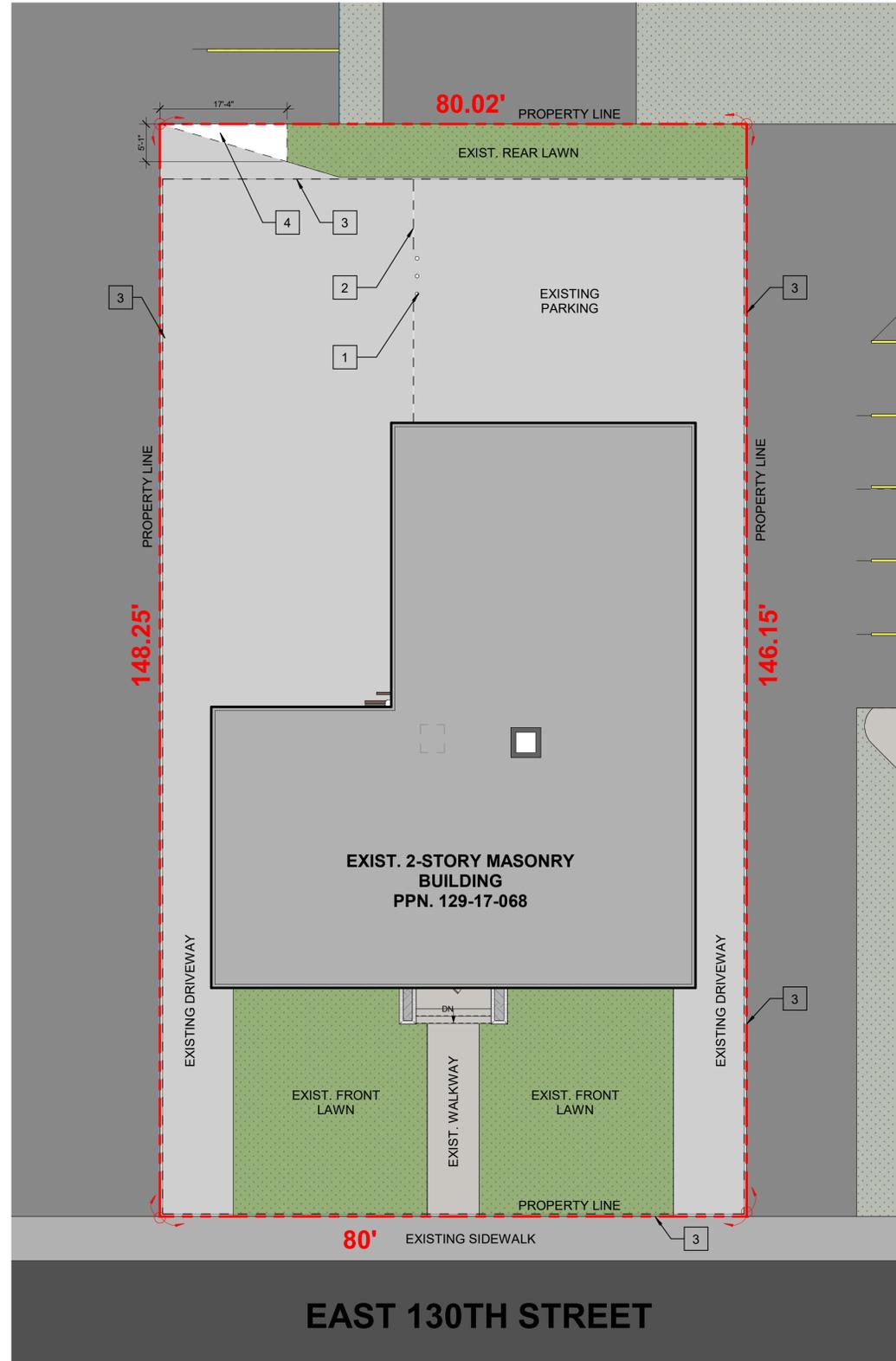
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4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

**1** EXIST. SITE PLAN  
SP2.0 SCALE 1" = 10'-0"



**GENERAL NOTES**

- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT THE SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- REMOVE ALL EXISTING FINISH FLOORING. ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW POLISHED CONC. FINISH. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.
- REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILINGS IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
- REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

**CODED NOTES**

- INDICATED BY
- EXISTING BOLLARDS TO BE REMOVED
  - EXISTING CHAIN LINK FENCE TO BE REMOVED
  - TEMPORARY PERIMETER FENCE TO BE REMOVED
  - REMOVE EXIST. GRASS AND PREPARE FOR NEW TRASH ENCLOSURE



**Project Team:**

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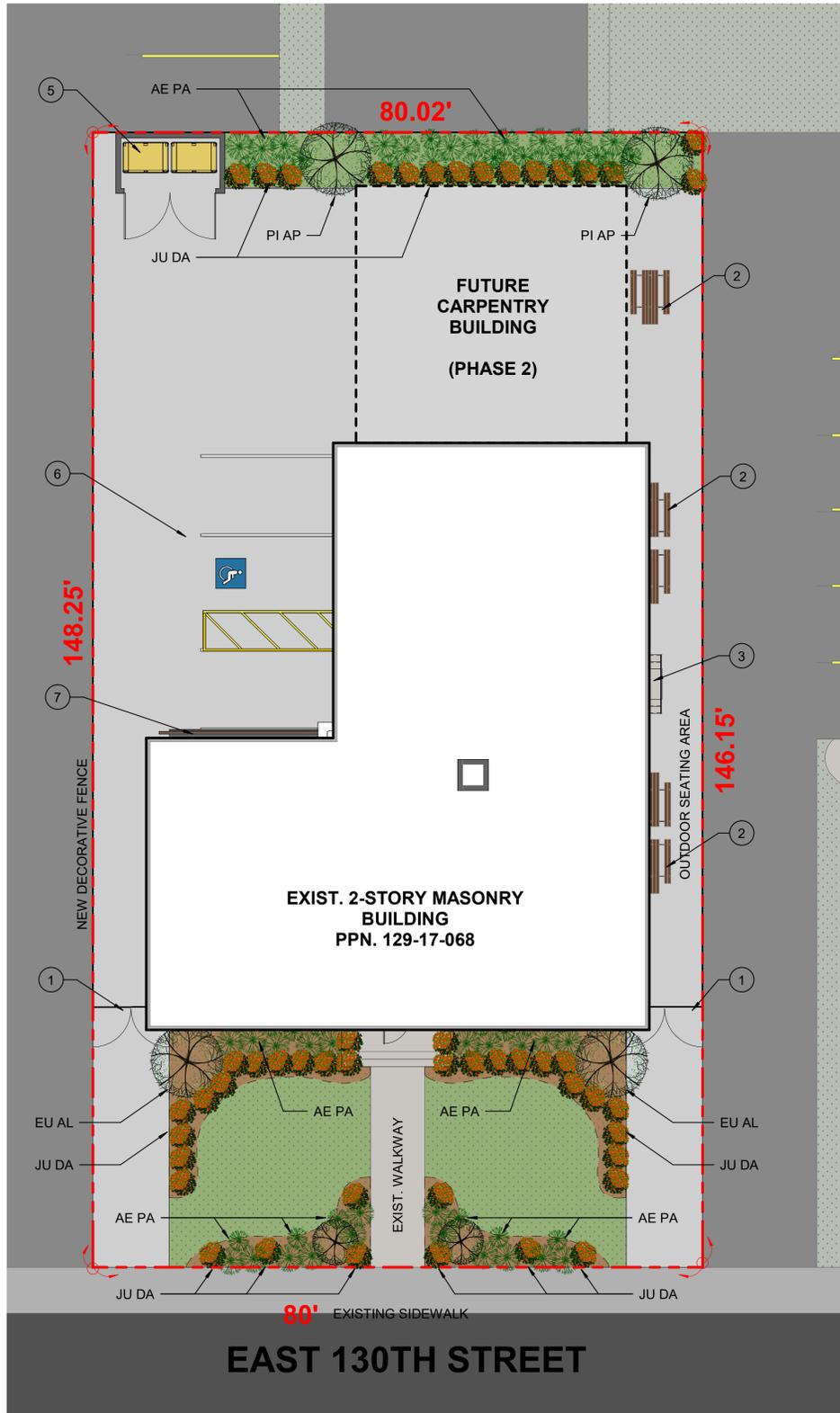
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Approved:	Date:
X	
Consultant Project #	Drawn by: NN - DB
	Checked by: WDB, II

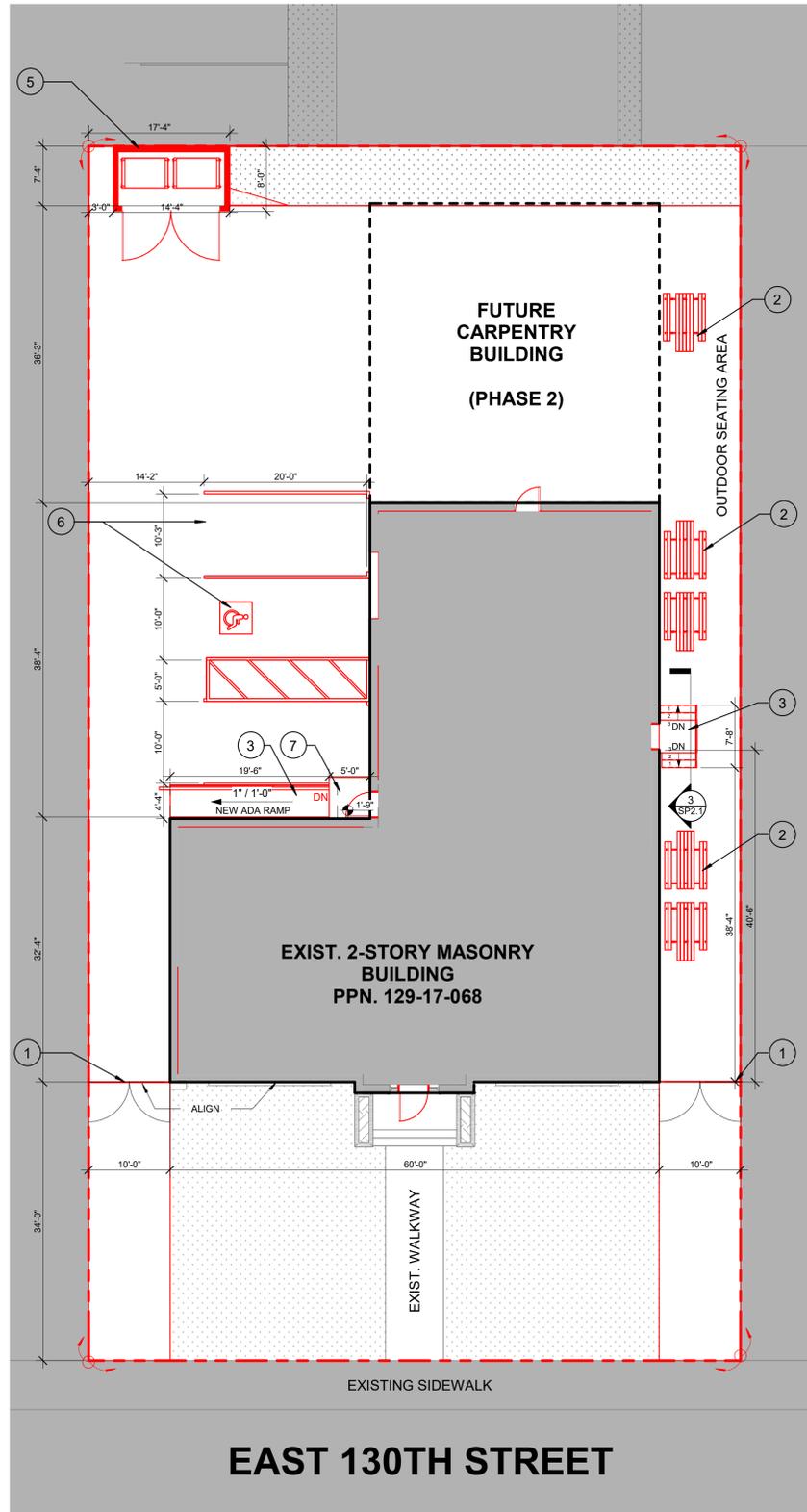
**EXISTING SITE PLAN**

Scale: 1" = 10'-0"  
Date: 02.20.2026  
Sheet: **SP2.0**

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**1** PROPOSED SITE PLAN  
 SP2.1 SCALE 1" = 10'-0"



**2** PROPOSED DIMENSIONED SITE PLAN  
 SP2.1 SCALE 1" = 10'-0"

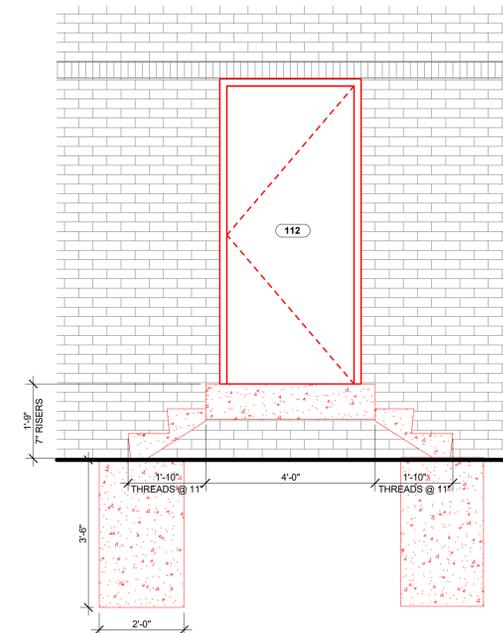
**GENERAL NOTES**

- OWNER SHALL SELECT ALL NEW FINISHES, FURNITURE AND FIXTURES
- ALL GYP. BD. SURFACES SHALL HAVE SMOOTH NON-TEXTURED FINISH
- THE METHOD OF ATTACHMENT FOR ALL ITEMS THAT ARE TO BE SUSPENDED FROM THE JSTS. ABOVE. NO ATTACHMENTS TO THE DECKING ABOVE IS PERMITTED.
- REFER ARCH. DWGS. FOR LOCATION OF PLUMBING AND HEATING EQUIPMENT, FIXTURES AND OTHER ENGINEERING INSTALLATION COMPONENTS
- HVAC CONTRACTOR SHALL PROVIDE WITH ALL NECESSARY CALCULATIONS AND LAYOUT OF HVAC SYSTEM
- PLUMBING CONTRACTOR SHALL PROVIDE WITH ALL NECESSARY CALCULATIONS AND LAYOUT OF PLUMBING SYSTEM
- ALL FRAMING MEMBERS SHALL BE SPACED 16", UNLESS OTHERWISE INDICATED
- ALL LOAD BEARING HEADERS OVER WINDOW AND DOOR OPENINGS SHALL BE OF DBL. 2 x 10, UNLESS OTHERWISE INDICATED
- ENTIRE PERIMETER WALL TO RECEIVE R-19 BATT INSULATION.
- ALL WALLS TO BE 1A UNLESS NOTED OTHERWISE
- CARPENTRY LAB BUILDING WILL BE BUILT IN SECOND PHASE OF PROJECT.

**PLAN CODED NOTES**

INDICATED BY ○

- NEW DECORATIVE METAL GATE
- NEW SEATING
- NEW ADA RAMP AND LANDING
- NEW TRASH ENCLOSURE
- NEW PARKING
- NEW CANOPY SIM. TO EXISTING



**3** NEW STAIRS AND LANDING  
 SP2.1 SCALE 1/2" = 1'-0"

**PLANT LIST**

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
EU AL		EUONYMUS ALATA 'COMPACTA'	COMPACT BURNINGBUSH		
JU DA		JUNIPERUS DAURICA 'PARSONII'	PARSONS JUNIPER		
PI AB		PICEA ABIES	NORWAY SPRUCE		
AE PA		AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE		

PLANT LIST FOR THIS SHEET ONLY  
 CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING  
 PLANT QUANTITIES SHOWN ON PLAN SUPERSEDE PLANT LIST



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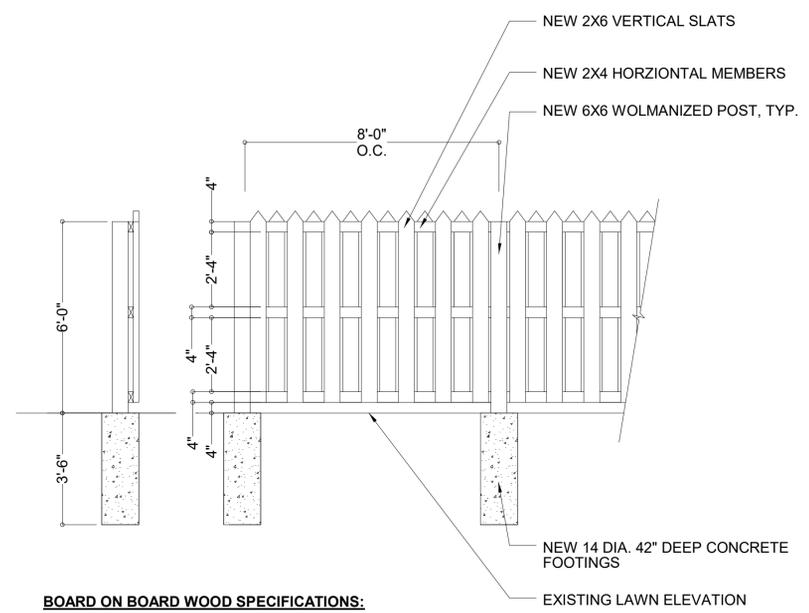
PROPOSED SITE PLAN

Scale:	Sheet:
As Indicated	<b>SP2.1</b>
Date:	02.20.2026

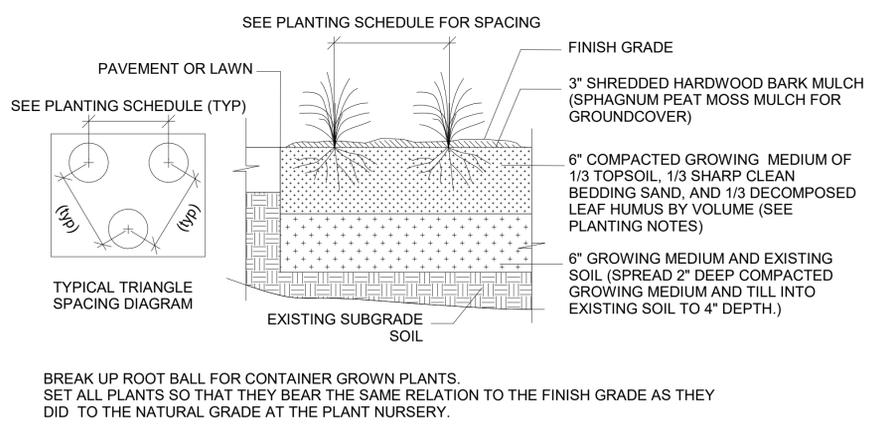
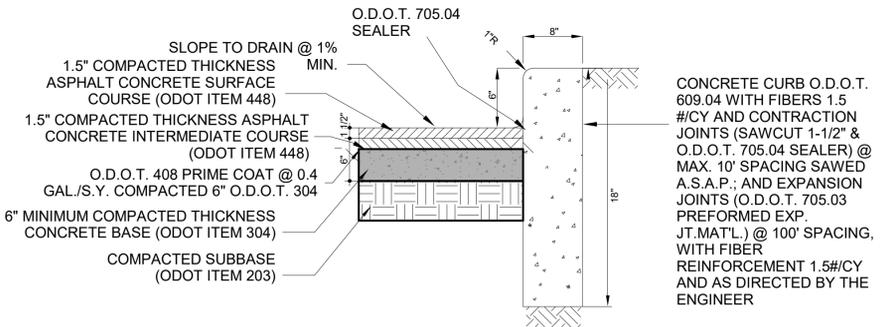
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**1 NEW BOARD ON BOARD FENCING**  
 SP4.0 SCALE: 1/2" = 1'-0"

- BOARD ON BOARD WOOD SPECIFICATIONS:**
- 72" H FENCE; MEASUREMENTS LISTED ARE TOT HE TOP OF POST
  - DOG EAR WATER SEAL/WOLMANIZED SLATS ARE 3/4"x6"
  - REQUIRED (3) HORIZONTAL STRINGERS ARE PRESSURE TREATED PINE OR APPROVED EQUAL FULL CUT 1"x4"
  - ONLY GALVANIZED RING SHANK NAILS SHALL BE USED
  - 6"x6" PRESSURE TREATED PINE POSTS SHALL BE LOG STOCK
  - POSTS SHALL BE 8'-0" L
  - 6"x6" GATE HINGE AND LOCKABLE LATCH POST INSTALLED 36" BELOW GRADE WITHIN CONC. FOOTING

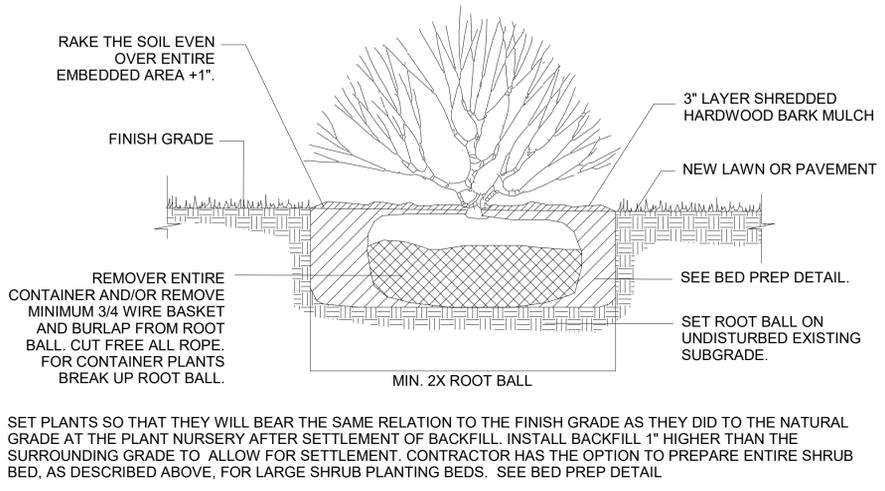


**2 TYP. REGULAR ASPHALT PAVEMENT SECTION**  
 SP4.0 SCALE: NO SCALE

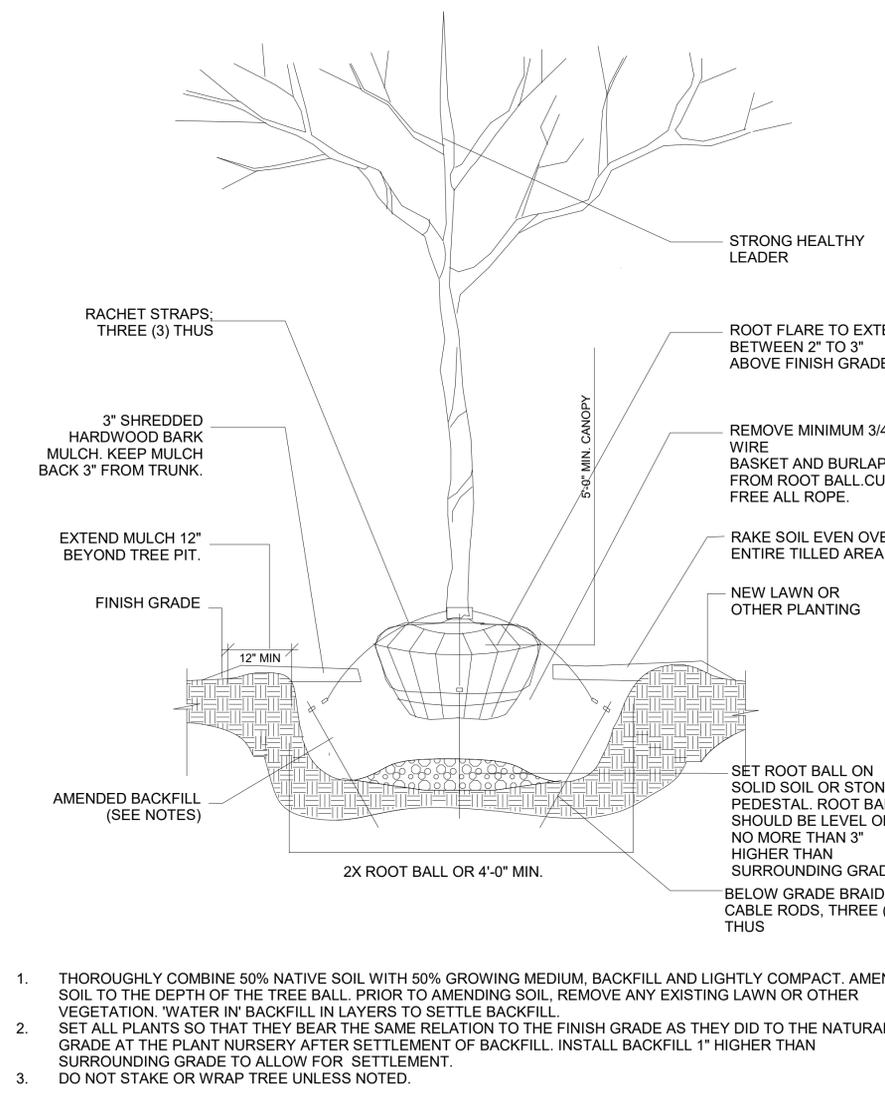


**3 PERENNIAL PLANTING/ BED PREP**  
 SP4.0 SCALE: NO SCALE

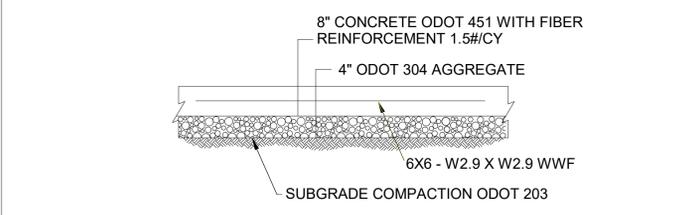
**4 SHRUB PLANTING**  
 SP4.0 SCALE: NO SCALE



**5 TREE PLANTING**  
 SP4.0 SCALE: NO SCALE



**6 DRIVEWAY**  
 SP4.0 SCALE: NO SCALE



**7 CONCRETE APRON AND PAD DETAIL**  
 SP4.0 SCALE: NO SCALE



**PLANTING NOTES**

- ALL PLANTING & SEEDING SHALL BE INSTALLED BY AN OHIO CERTIFIED NURSERY TECHNICIAN(S) OR NATIONALLY CERTIFIED LANDSCAPE TECHNICIAN(S).
- CONTRACTOR TO STAKE LOCATIONS OF TREES AND LARGE SHRUBS AND OUTLINE BED AREAS OF PERENNIALS AND GROUNDCOVER FOR ACCEPTANCE BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- GROWING MEDIUM SHALL CONSIST OF 1/3 TOPSOIL, 1/3 SHARP, CLEAN BEDDING SAND, 1/3 DECOMPOSED LEAF HUMUS BY VOLUME. GROWING MEDIUM SHALL BE MECHANICALLY COMBINED BY A SUPPLIER. GROWING MEDIUM SHALL HAVE A PH BETWEEN 6.2 AND 6.8. FINAL BLEND FROM PART 'A' SHALL BE CLASSIFIED IN THE "SANDY LOAM" PORTION OF THE U.S.D.A SOIL TEXTURAL TRIANGLE.
- DECOMPOSED LEAF MULCH: DECOMPOSED, NITROGEN-TREATED, OF UNIFORM TEXTURE, FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC MATERIALS. SHALL CONFORM TO THE FOLLOWING:
  - 100% SHALL PASS THROUGH A 1" SCREEN.
  - PATHOGEN FREE; TIME AND TEMPERATURE TESTS MINIMUM 55 DEGREE CELSIUS FOR A MINIMUM OF THREE DAYS.
  - HEAVY METAL CONTENT SHALL NOT EXCEED OHIO EPA CLASS 1
  - ORGANIC CONTENT SHALL BE BETWEEN 35% AND 75%; EACH SOURCE SHALL NOT VARY MORE THAN 5%.
  - INERT CONTAMINATION SHALL BE LESS THAN 1% BY WEIGHT.
  - MATERIAL SHALL BE CURED FOR AT LEAST 90 DAYS.
  - SOLUBLE SALTS SHALL BE BETWEEN 1 - 5 MMHOLS.
  - PH SHALL BE BETWEEN 6.0 AND 8.0
- CONTRACTOR MAY REUSE SURFACE SOIL STOCKPILED ON THE SITE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF TREES AND SHRUBS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
- SEEDING & MULCHING PER ODOT ITEM 659. SEED MIXTURE AS PER NOTE 8.
- SEED: PROVIDE CERTIFIED GRASS SEED BLENDS OR MIXES, PROPORTIONED BY WEIGHT FOR APPROVAL BY OWNER'S REP. SEED SHALL BE PROFESSIONALLY MIXED WITH 30% KENTUCKY BLUEGRASS; 35% FESCUE (FESTUCA CVLT.) SUCH AS PENNLAWN, FINELAWN PETITE' OR 'CROSS FIRE'; 35% PERENNIAL RYE GRASS SUCH AS CITATION II OR MANHATTAN. SOW SEED AT A MINIMUM OF 5 LBS. PER 1000 SF. MINIMUM 90% GERMINATION.
- DITCHES WITH GRADES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 5:1 WILL HAVE EROSION CONTROL BLANKETS/MATTING INSTALLED AS PER ODOT 671. MATTING TO BE ODOT ITEM 712.11 SEE ODOT DRAWING DM-4.2 FOR INSTALLATION.
- CONTRACTOR TO GUARANTEE AND WARRANT ALL PLANT MATERIAL FOR 1 YEAR (12 MONTHS) STARTING THE DAY OF FINAL ACCEPTANCE FROM THE OWNER. THE GUARANTEE RESERVES THE RIGHT OF THE OWNER TO HAVE ANY PLANT MATERIAL REPLACED AT THE OWNER'S DISCRETION SHOULD THE OWNER DETERMINE THAT A PARTICULAR PLANT HAS DIED OR IS IN DECLINE AT THE SOLE COST OF THE CONTRACTOR AND AT NO COST TO THE OWNER.
- THE CONTRACTOR IS TO MAINTAIN ALL PLANTINGS FOR A PERIOD OF ONE YEAR (12 MONTHS) STARTING THE DAY OF FINAL ACCEPTANCE FROM THE OWNER. THE MAINTENANCE IS TO INCLUDE, BUT NOT LIMITED TO: ALL WATERING, MOWING, FERTILIZING, PRUNING, WEEDING, AND GENERAL CLEAN UP OF THE PLANTING AREAS. THIS MAINTENANCE IS TO BE DONE ON A REGULAR BASIS TO BE AGREED UPON WITH THE OWNER.
- CONTRACTOR IS TO REGRADE AND SEED ANY DISTURBED AREAS.



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DETAILS - SITE PLAN

Scale:	Sheet:
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Date:	
02.20.2026	

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**NOTES:**

**LEGEND**

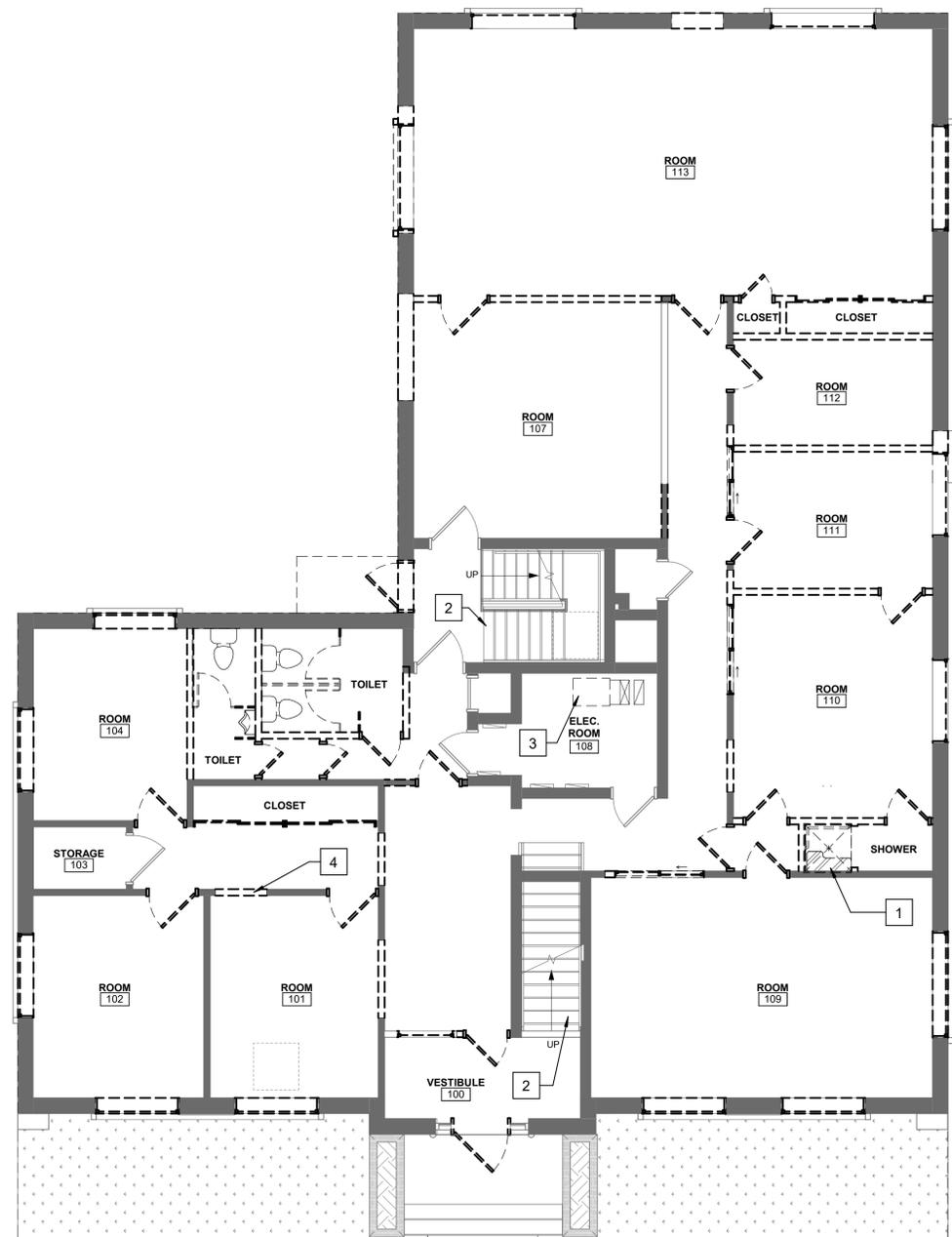
- REMOVE EXISTING WALL CONSTRUCTION IN ITS ENTIRETY FROM FLOOR TO STRUCTURE ABOVE, INCLUDING DOORS, DOOR FRAMES, WINDOWS, BASE, ASSOCIATED ELECMECH WORK, ETC. PATCH AND PREPARE EXISTING ADJACENT AREAS AS REQUIRED TO RECEIVE NEW FINISHES.
- REMOVE EXISTING DOOR OR LITE, GLAZING AND FRAME ASSEMBLY. FILL AS SHOWN ON ARCHITECTURAL DRAWINGS. PATCH AND PREPARE TO RECEIVE NEW FINISHES.
- REMOVE EXISTING MILLWORK, COUNTERS, SHELVING, PLUMBING FIXTURES AND SUPPORTS. PATCH ADJACENT AREAS AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW FINISHES.

**GENERAL DEMOLITION NOTES**

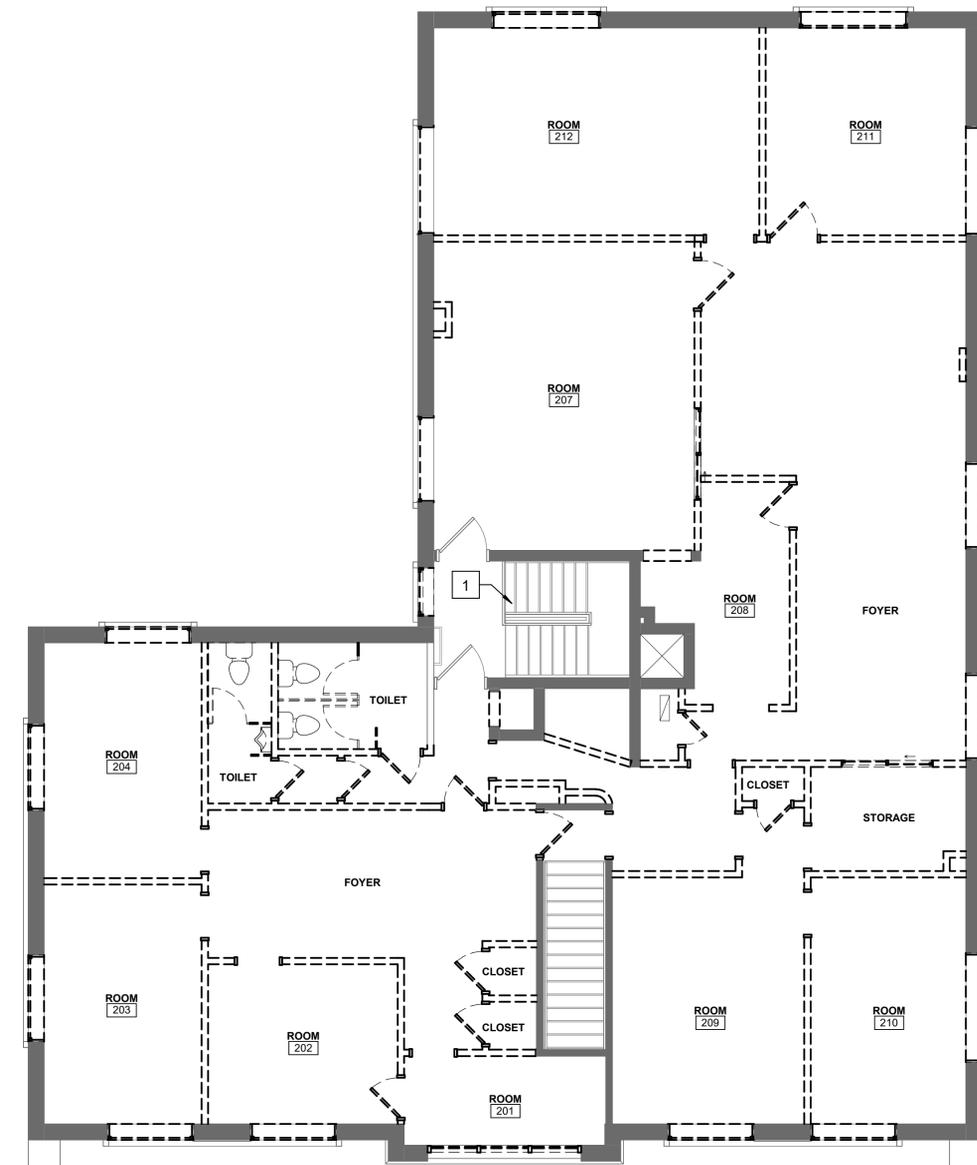
1. DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
2. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
3. WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
4. EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
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6. REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
7. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
8. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
9. REMOVE ALL EXISTING FINISH FLOORING. ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW POLISHED CONC. FINISH. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.
10. REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILINGS IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
11. REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

**CODED DEMOLITION NOTES**

- INDICATED BY
- 1 DEMO. EXIST. SHOWER. UTILIZE EXISTING WATER AND SANITARY FOR PROPOSED MENS AND WOMENS RESTROOMS
  - 2 EXIST. STAIR TO REMAIN. REMOVE ALL CURRENT FINISHES AND CLEAN
  - 3 EXIST. FURNACE TO BE REMOVED AND REPLACED
  - 4 EXIST. OPENING TO BE ENCLOSED



**1** / **A1.0** EXIST./DEMO FIRST LEVEL  
SCALE 3/16" = 1'-0"



**2** / **A1.0** EXIST./DEMO SECOND LEVEL  
SCALE 3/16" = 1'-0"



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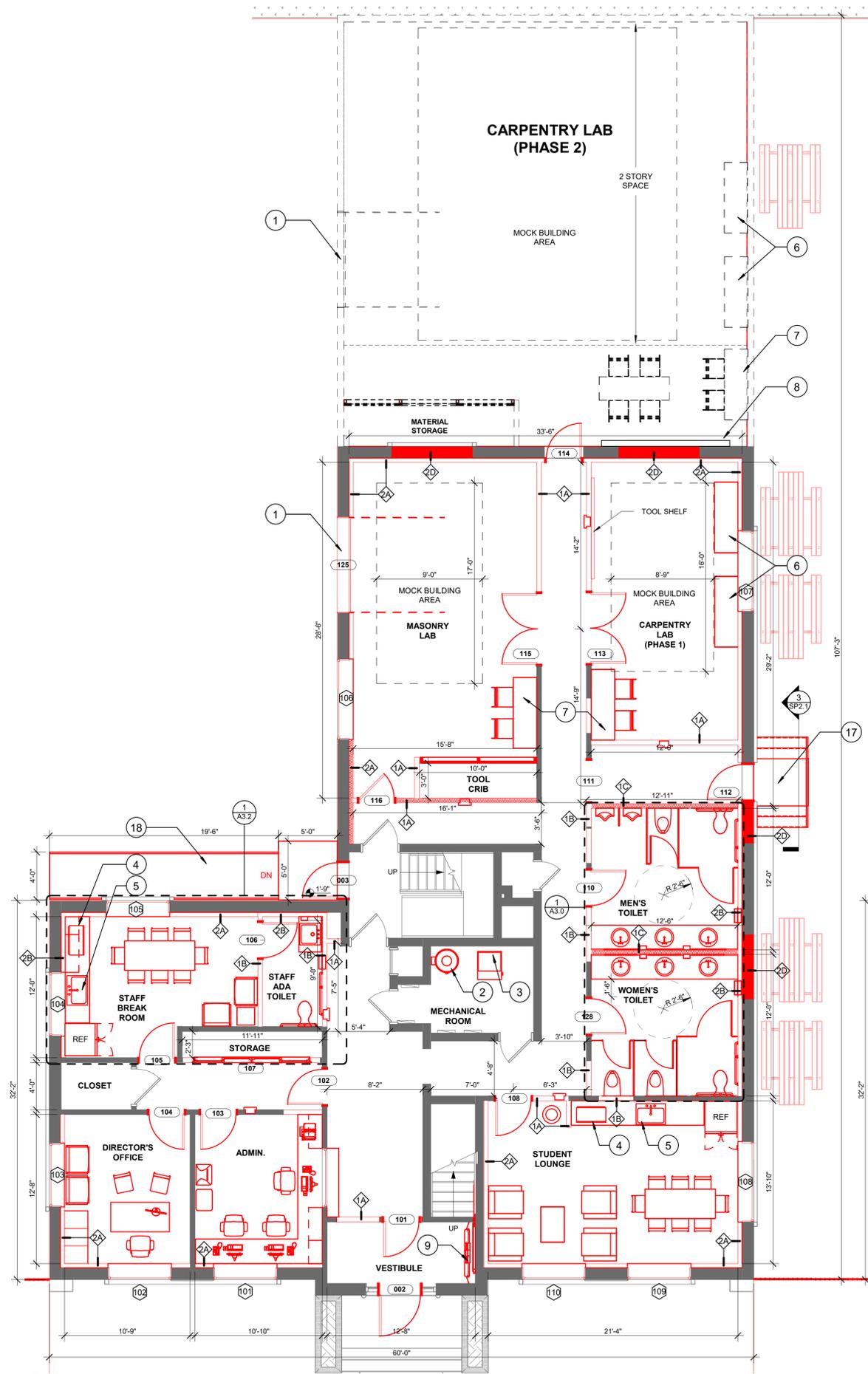
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Checked by:	WDB, II

**EXIST. / DEMO PLANS**

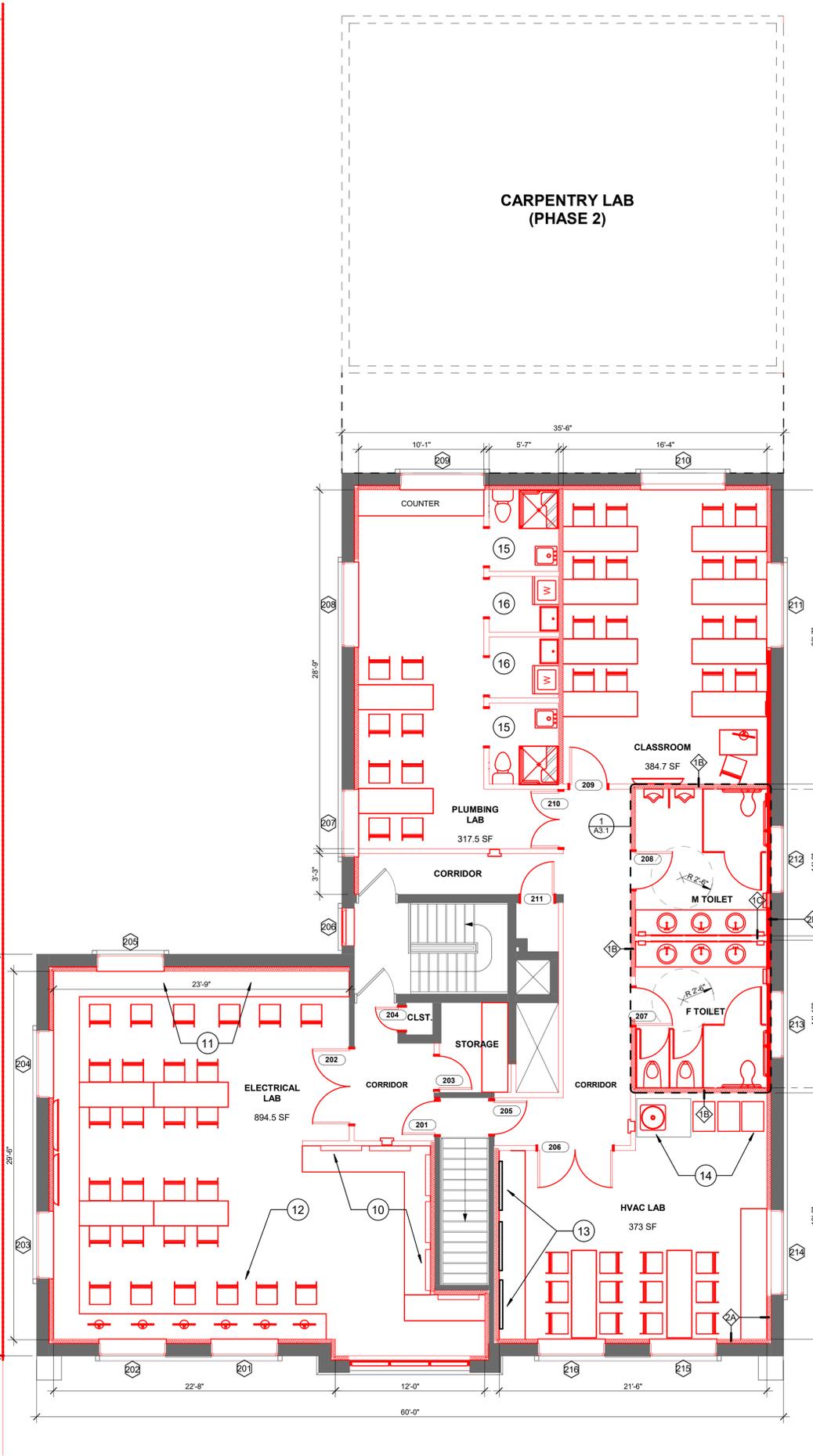
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**1**  
A1.1 PROPOSED FIRST LEVEL  
SCALE 3/16" = 1'-0"



**2**  
A1.1 PROPOSED SECOND LEVEL  
SCALE 3/16" = 1'-0"

**GENERAL NOTES**

- OWNER SHALL SELECT ALL NEW FINISHES, FURNITURE AND FIXTURES
- ALL GYP. BD. SURFACES SHALL HAVE SMOOTH NON-TEXTURED FINISH
- THE METHOD OF ATTACHMENT FOR ALL ITEMS FROM THE JSTS. ABOVE. NO ATTACHMENTS TO PERMITTED.
- REFER ARCH. DWGS. FOR LOCATION OF PLUMBING FIXTURES AND OTHER ENGINEERING INSTALLATION. HVAC CONTRACTOR SHALL PROVIDE WITH ALL LAYOUT OF HVAC SYSTEM
- PLUMBING CONTRACTOR SHALL PROVIDE WITH ALL LAYOUT OF PLUMBING SYSTEM
- ALL FRAMING MEMBERS SHALL BE SPACED 16" O.C.
- ALL LOAD BEARING HEADERS OVER WINDOW AND DOOR OPENINGS SHALL BE 2x10, UNLESS OTHERWISE INDICATED
- ENTIRE PERIMETER WALL TO RECEIVE R-19 BATT INSULATION.
- ALL WALLS TO BE 1A UNLESS NOTED OTHERWISE
- CARPENTRY LAB BUILDING WILL BE BUILT IN SECOND PHASE OF PROJECT.



Project Team:

**PLAN CODED NOTES**

- INDICATED BY
- ROLLER DOORS FOR DEBRIS REMOVAL
  - NEW HOT WATER HEATER
  - NEW FURNACE
  - NEW MICROWAVE BY OWNER
  - NEW NEW SINK
  - LARGE TOOL TABLE
  - DRAFTING BOARD
  - TOOL RACK
  - COLLAPSABLE WHEELCHAIR INCLINE LIFT
  - ELECTRICAL TRAINING PANEL. COUNTER BELOW
  - SOLDERING TRAINING STATION
  - CIRCUITS LABORATORY
  - HVAC TRAINING STATION. COUNTER BELOW
  - INDOOR COIL, FURNACE, AIR HANDLER
  - PLUMBING TRAINING BATHROOM
  - PLUMBING TRAINING WASHER AND SINK
  - NEW CONCRETE STAIRS
  - NEW ADA RAMP AND LANDING

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W. Daniel Bickerstaff, II License No. 12608  
Expires on December 31, 2027

GC/HVAC MEETING	WDB II	02.17.2026
PERMIT ISSUANCE	WDB II	12.17.2025
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CLEVELAND, OH 44120

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	NN - DB	WDB, II

**PROPOSED PLANS**

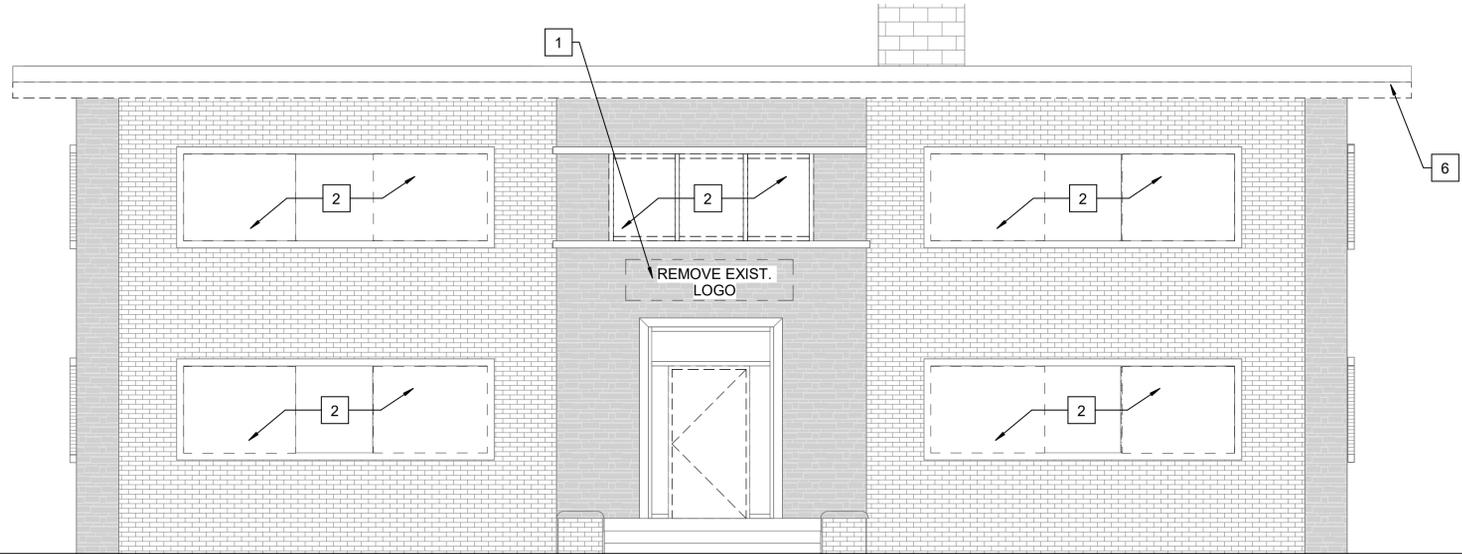
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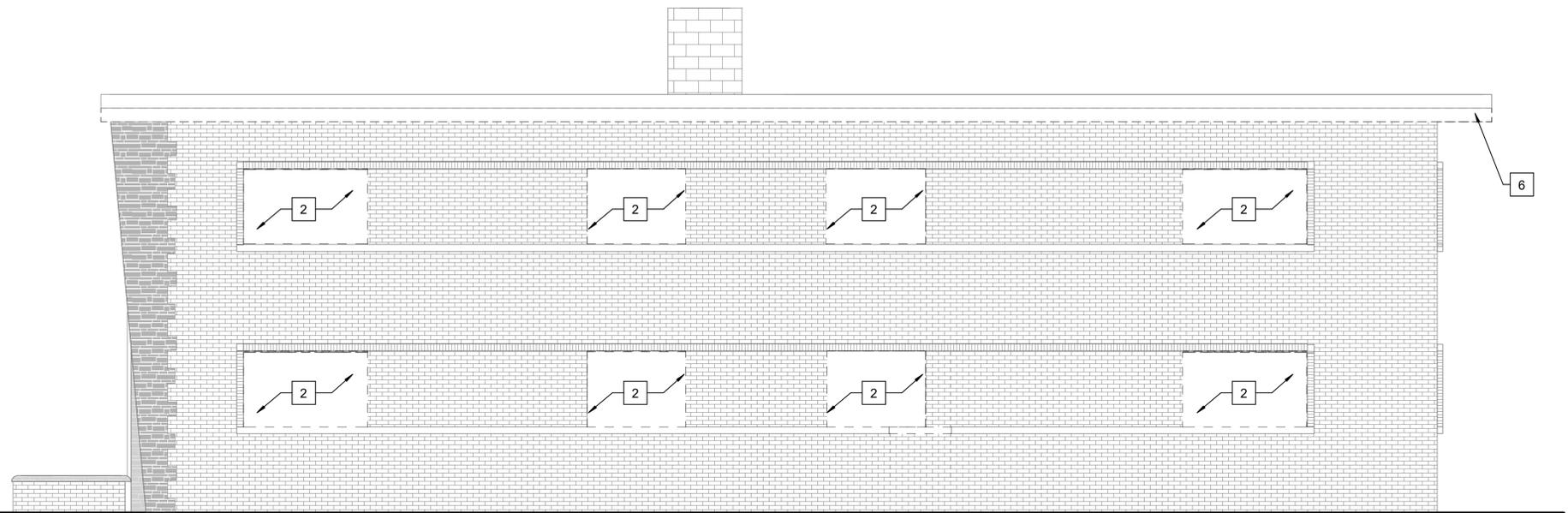
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**NOTES:**



**1** EXIST. ELEVATION - EAST  
A2.0 SCALE 1/4" = 1'-0"



**2** EXIST. ELEVATION - NORTH  
A2.0 SCALE 1/4" = 1'-0"

**GENERAL DEMOLITION NOTES**

1. DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
2. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
3. WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
4. EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
5. REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT THE SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
6. REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
7. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
8. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
9. REMOVE ALL EXISTING FINISH FLOORING. ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW POLISHED CONC. FINISH. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.
10. REMOVE ALL TEXTURED FINISHES ON EXISTING GYPSUM BOARD WALLS AND CEILINGS IN PREP. FOR NEW SMOOTH FINISHES THROUGHOUT.
11. REMOVE AND DISPOSE OF ALL 4 INCH CONC. FLOORING FROM NEW TRENCH LOCATIONS.

**CODED DEMOLITION NOTES**

INDICATED BY

- 1 REMOVE EXIST. LOGO
- 2 REMOVE EXIST. OPENING
- 3 REMOVE AND REPLACE EXIST. CANOPY
- 4 REMOVE AND REPLACE EXIST. RAMP WITH NEW ADA COMPLIANT RAMP
- 5 REMOVE EXIST. DECORATIVE BRICK SOLDIER AND CONCRETE SILL. PREPARE FOR PATCHING.
- 6 REPAIR AND PATCH EXIST. CANOPY SOFFIT



**Project Team:**

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	NN - DB   WDB, II

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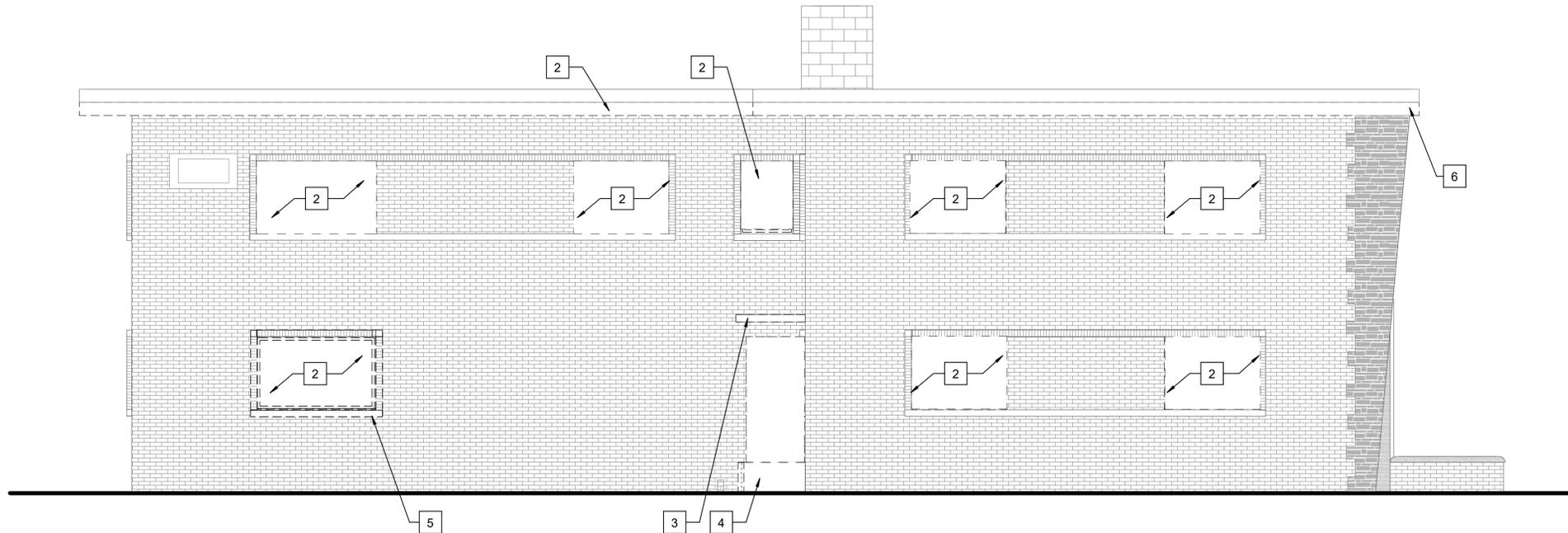
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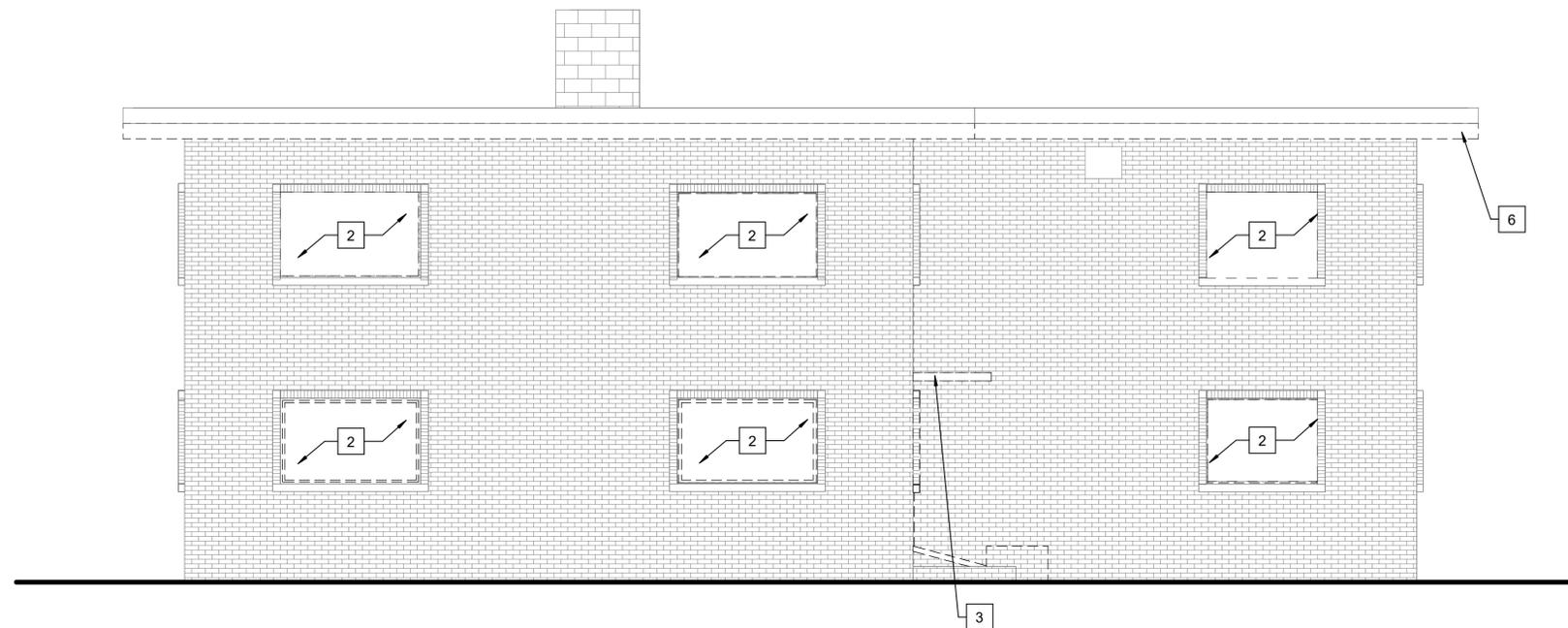
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**NOTES:**



**1** EXIST. ELEVATION - SOUTH  
A2.1 SCALE 1/4" = 1'-0"



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**CODED DEMOLITION NOTES**

INDICATED BY

- REMOVE EXIST. LOGO
- REMOVE EXIST. OPENING
- REMOVE AND REPLACE EXIST. CANOPY
- REMOVE AND REPLACE EXIST. RAMP WITH NEW ADA COMPLIANT RAMP
- REMOVE EXIST. DECORATIVE BRICK SOLDIER AND CONCRETE SILL. PREPARE FOR PATCHING.
- REPAIR AND PATCH EXIST. CANOPY SOFFIT



**Project Team:**

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ARCHITECTS

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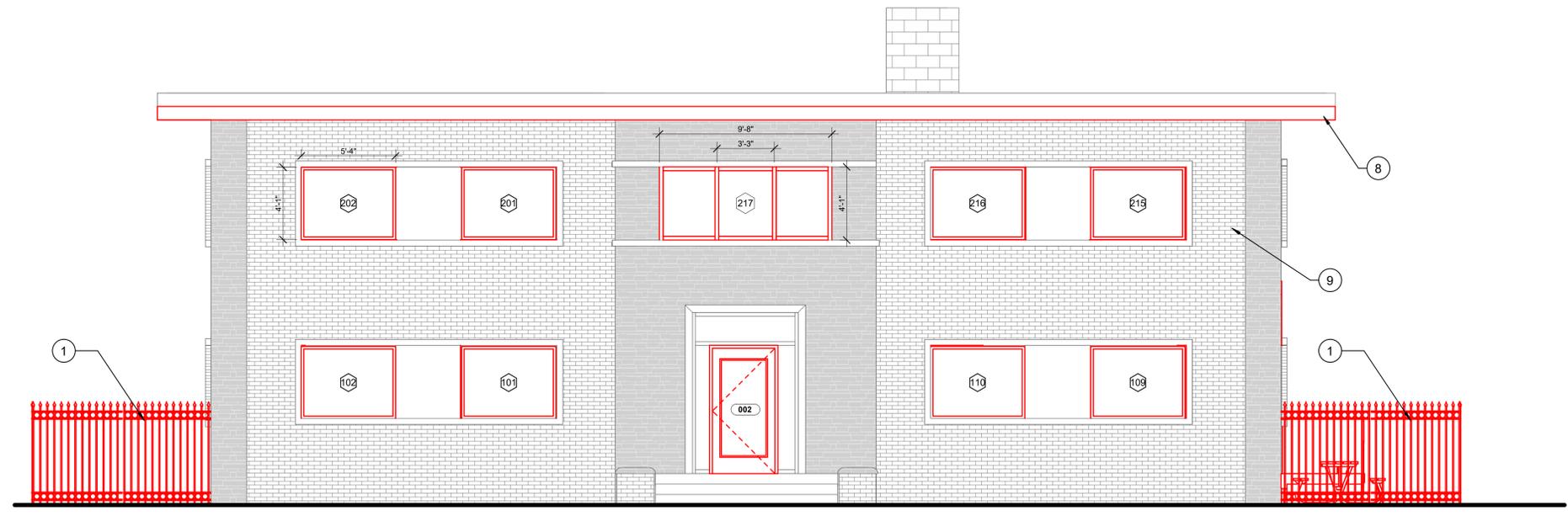
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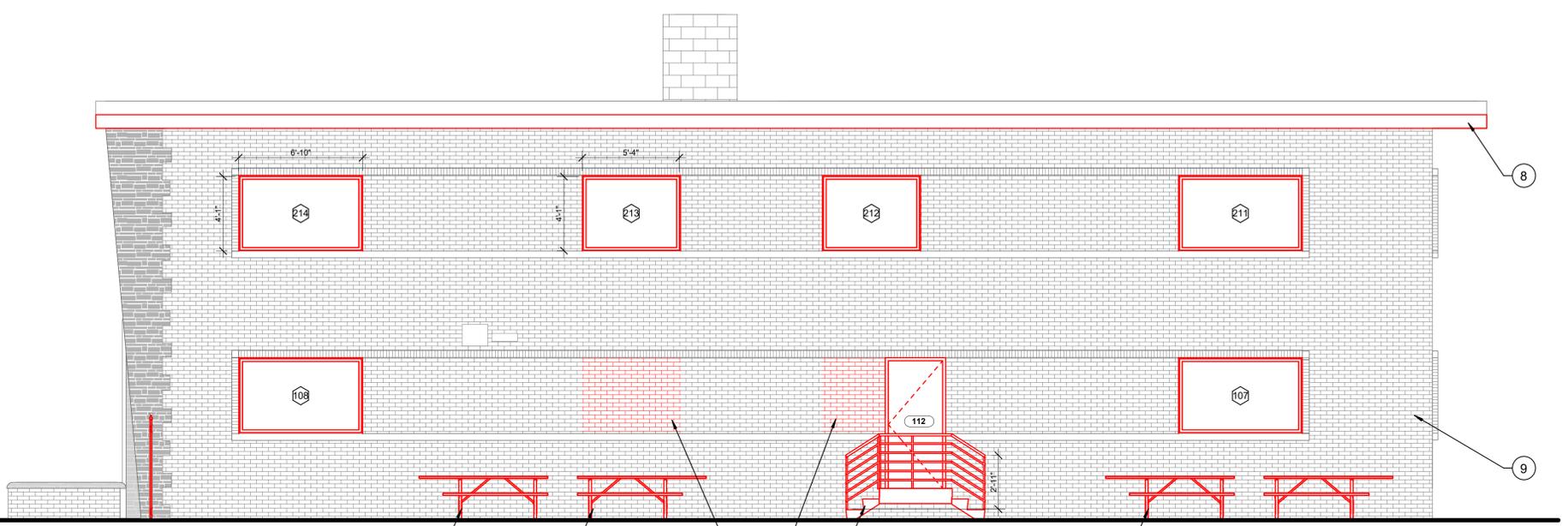
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**1**  
**A2.2** PROPOSED ELEVATION - EAST  
 SCALE 1/4" = 1'-0"



**2**  
**A2.2** PROPOSED ELEVATION - NORTH  
 SCALE 1/4" = 1'-0"

**GENERAL NOTES**

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- PLUMBING CONTRACTOR SHALL PROVIDE WITH ALL LAYOUT OF PLUMBING SYSTEM
- ALL FRAMING MEMBERS SHALL BE SPACED 16" O.C. DBL. 2 x 10, UNLESS OTHERWISE INDICATED
- ALL LOAD BEARING HEADERS OVER WINDOW AND DOOR OPENINGS SHALL BE 2 x 10, UNLESS OTHERWISE INDICATED
- ENTIRE PERIMETER WALL TO RECEIVE R-19 BATT INSULATION.
- ALL WALLS TO BE 1A UNLESS NOTED OTHERWISE
- CARPENTRY LAB BUILDING WILL BE BUILT IN SECOND PHASE OF PROJECT



**PLAN CODED NOTES**

- INDICATED BY ○
- NEW DECORATIVE METAL GATE
  - NEW TABLE AND SEATING
  - NEW MONOLITHIC STAIR WITH RAILING
  - NEW ROLLER DOOR FOR DEBRIS REMOVAL
  - NEW CANOPY SIM. TO EXISTING
  - NEW ADA RAMP, LANDING, AND RAILING
  - NEW WALL SIMILAR TO EXISTING
  - REPAIR AND PATCH EXIST. CANOPY SOFFIT TO ACHIEVE AS NEW CONDITION
  - CLEAN, REPAIR AND PATCH EXIST. MASONRY TO ACHIEVE AS NEW CONDITION

Project Team:

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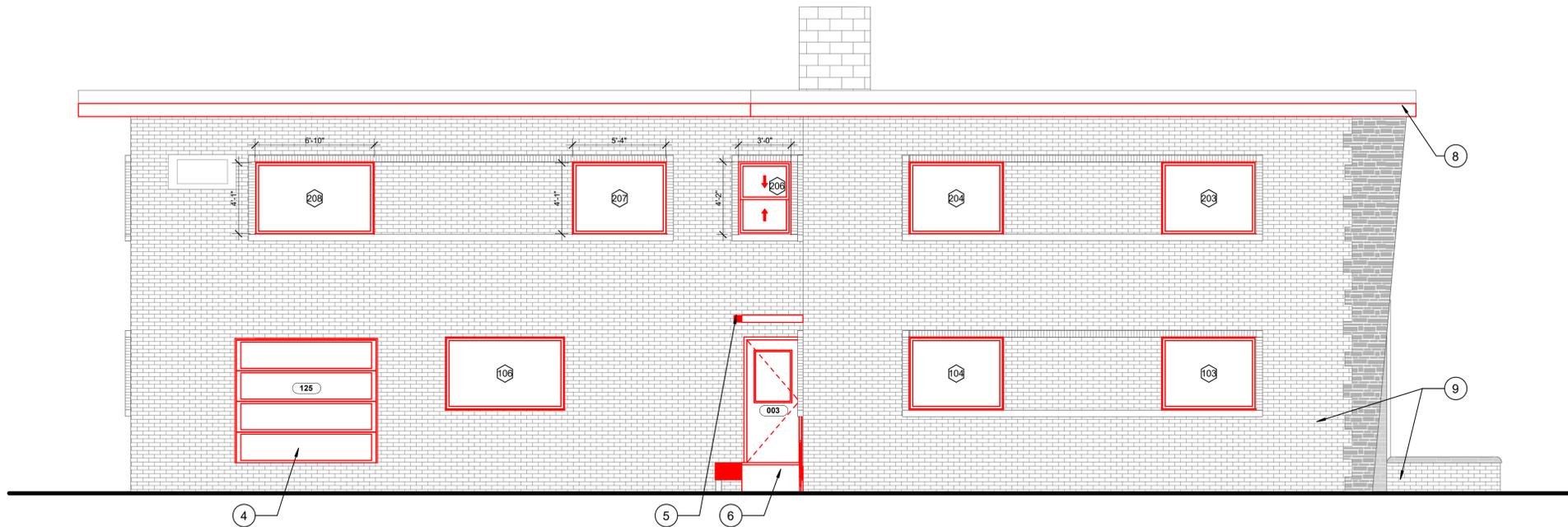
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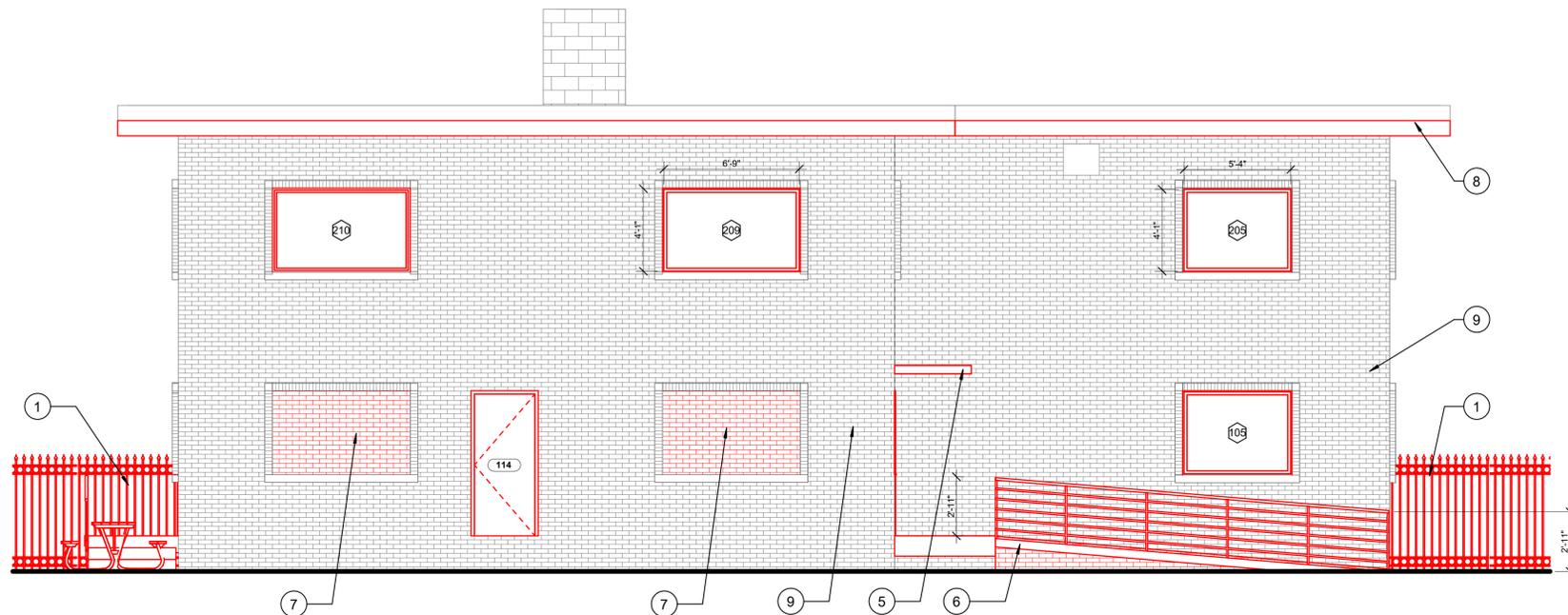
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**NOTES:**



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A2.3 SCALE 1/4" = 1'-0"



**2** PROPOSED ELEVATION - WEST  
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INDICATED BY ○

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Project Team:

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	Checked by: WDB, II

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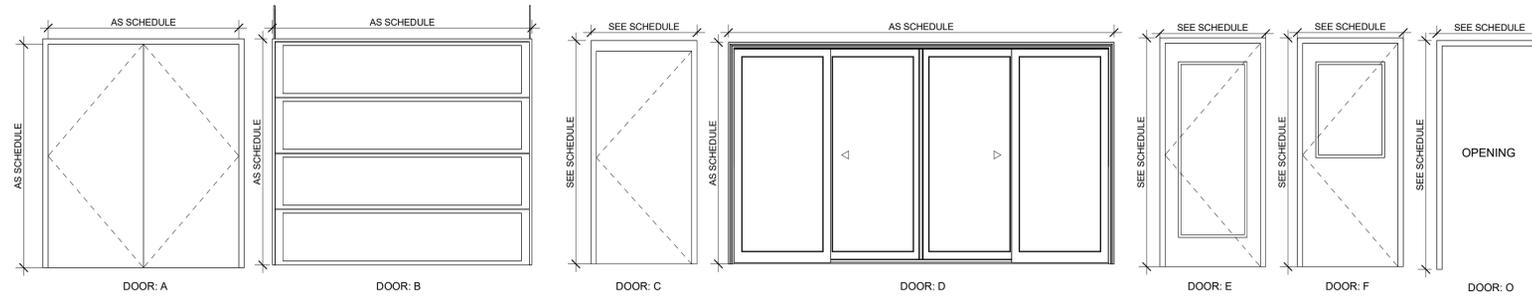
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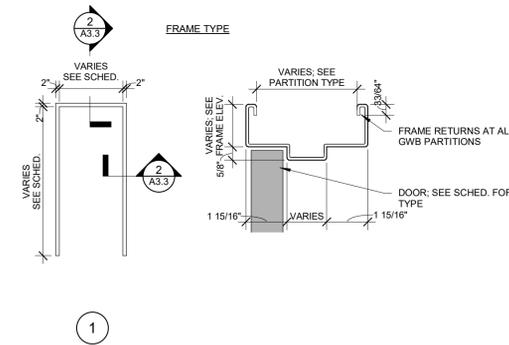
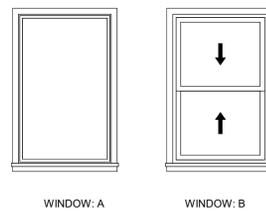
DOOR SCHEDULE						
OPEN'G NO.	TYPE	AMBIENT	MEASUREMENTS			REMARKS
			Width	Height	Thickness	
00 GROUND LEVEL						
001	A		12'-0"	6'-0"	0' - 1 1/2"	TRASH ENCLOSURE
01 FIRST LEVEL						
002	E	VESTIBULE	3'-6"	7'-0"		
003	F		3'-0"	7'-0"		
101	C	VESTIBULE	3'-0"	7'-0"	0' - 1 1/2"	
102	C		3'-0"	7'-0"	0' - 1 1/2"	
103	C	ADMIN.	3'-0"	7'-0"	0' - 1 1/2"	
104	C	DIRECTOR'S OFFICE	3'-0"	7'-0"	0' - 1 1/2"	
105	C	STAFF BREAK ROOM	3'-0"	7'-0"	0' - 1 1/2"	
106	C	STAFF BREAK ROOM	3'-0"	7'-0"	0' - 1 1/2"	
107	D	STORAGE	9'-11"	6'-10"	0' - 1 3/4"	
108	C	STUDENT LOUNGE	3'-0"	7'-0"	0' - 1 1/2"	
110	C	MEN'S TOILET	3'-0"	7'-0"	0' - 1 1/2"	
111	O		3'-6"	7'-0"	0' - 1 1/2"	OPENING
112	C		3'-0"	7'-0"	0' - 1 1/2"	
113	A	CARPENTRY LAB (PHASE 1)	6'-0"	8'-0"	0' - 1 1/2"	
114	C	CARPENTRY LAB (PHASE 2)	3'-0"	7'-0"	0' - 1 1/2"	
115	A	MASONRY LAB	6'-0"	8'-0"	0' - 1 1/2"	
116	C	MASONRY LAB	3'-0"	7'-0"	0' - 1 1/2"	
125	B	MASONRY LAB	8'-0"	7'-0"	0' - 1 1/2"	GARAGE DOOR
127	B	CARPENTRY LAB (PHASE 2)	8'-0"	7'-0"	0' - 1 1/2"	
128	C	WOMEN'S TOILET	3'-0"	7'-0"	0' - 1 1/2"	
02 SECOND LEVEL						
201	C	ELECTRICAL LAB	2'-8"	7'-0"	0' - 1 1/2"	
202	A	ELECTRICAL LAB	6'-0"	7'-0"	0' - 1 1/2"	
203	C	MECHANICAL ROOM	2'-8"	7'-0"	0' - 1 1/2"	
204	C	ELECTRICAL LAB	1'-10"	7'-0"	0' - 1 1/2"	
205	C	CORRIDOR	2'-8"	7'-0"	0' - 1 1/2"	
206	A	STUDENT LOUNGE	6'-0"	7'-0"	0' - 1 1/2"	
207	C	F TOILET	3'-0"	7'-0"	0' - 1 1/2"	
208	C	MEN'S TOILET	3'-0"	7'-0"	0' - 1 1/2"	
209	C	CLASSROOM	3'-0"	7'-0"	0' - 1 1/2"	
210	A	CORRIDOR	4'-6"	7'-0"	0' - 1 1/2"	
211	C	CORRIDOR	2'-8"	7'-0"	0' - 1 1/2"	

**DOOR TYPES:**



**HEAD AND JAMB DETAILS**

**WINDOW TYPES:**

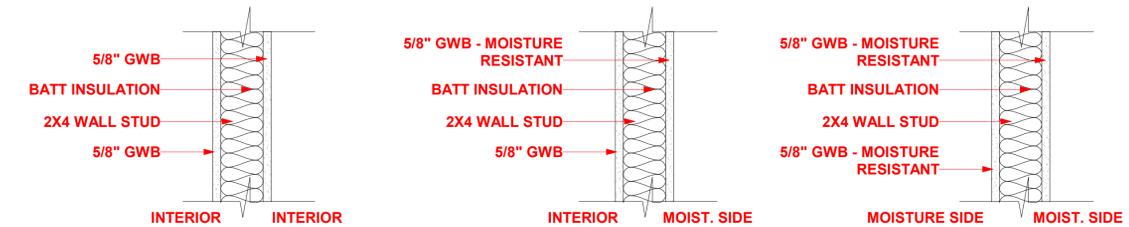


**HARDWARE NOTES**

- ALL DOORS (UNLESS NOTED OTHERWISE) SHALL HAVE LEVER-OPERATED HARDWARE. ALLOWING FOR EASY OPERATION WITHOUT GRASPING PINCHING OR TWISTING OF THE WRIST.
- DOOR OPENING FORCE SHALL COMPLY WITH ANSI A117.1(2009), SECTION 4.13.11
- PROVIDE COSMETIC SEALANT AT JOINT WHERE FRAMES MEET WALL (TYP.)
- ALL WINDOWS (UNLESS NOTED OTHERWISE) SHALL BE INSULATED GLASS WITH ALUMINUM CLAD WOOD FRAMES.
- MASONRY LAB GARAGE DOOR TO RECEIVE ALUMINUM CLAD FINISH TO MATCH WINDOW HARDWARE.

WINDOW SCHEDULE						
OPENING	MARK	MEASUREMENTS			MATERIAL	GLAZING
		Height	Width	Sill Height		

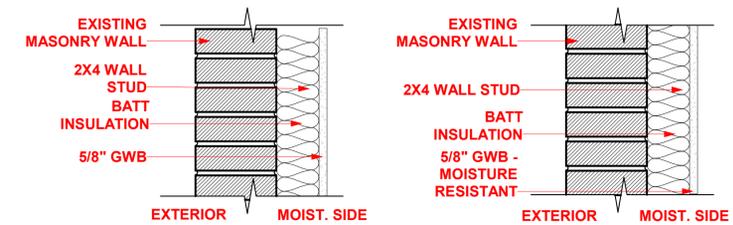
01 FIRST LEVEL						
100	A	4'-2"	5'-0"	3'-0"	ALUMINUM AND GLASS	TEMPERED
101	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
102	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
103	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
104	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
105	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
106	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
107	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
108	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
109	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
110	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
02 SECOND LEVEL						
201	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
202	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
203	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
204	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
205	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
206	B	4'-2"	3'-0"	3'-0"	ALUMINUM AND GLASS	TEMPERED
207	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
208	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
209	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
210	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
211	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
212	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
213	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
214	A	4'-2"	6'-10"	3'-0"	ALUMINUM AND GLASS	TEMPERED
215	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED
216	A	4'-2"	5'-5"	3'-0"	ALUMINUM AND GLASS	TEMPERED



**WALL TYPE: 1A**  
ONE LAYER GYP. BD. PAINTED EACH SIDE OF 3-5/8" ON STUDS @ 16" O.C.

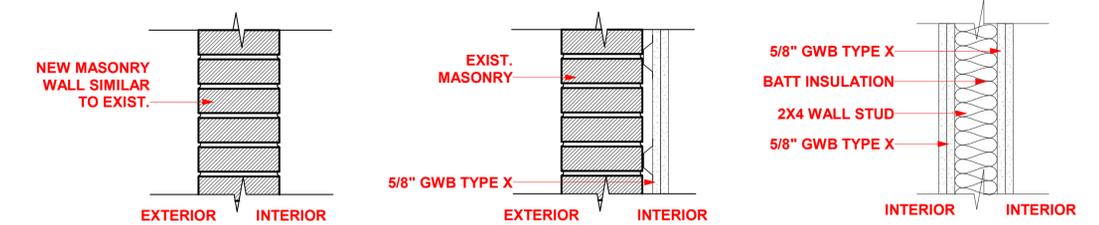
**WALL TYPE: 1B**  
ONE LAYER M.R GYP. BD. ON WET SIDE OF 3-5/8" ON STUDS @ 16" O.C. ONE LAYER GYP. BD. ON DRY SIDE

**WALL TYPE: 1C**  
ONE LAYER M.R GYP. BD. ON EACH SIDE SIDE OF 3-5/8" STUDS @ 16" O.C.



**WALL TYPE: 2A**  
ONE LAYER GYP. BD. PAINTED ON ONE SIDE OF 3-5/8" STUDS @ 16" O.C. WITH BATT INSUL. FILL OF EXISTING MASONRY AND STUDS.

**WALL TYPE: 2B**  
ONE LAYER M.R GYP. BD. ON WET SIDE OF 3-5/8" WITH TILE FINISH ON STUDS @ 16" O.C. ABOVE EXISTING MASONRY



**WALL TYPE: 3A**  
MASONRY INFILL SIMILAR TO EXISTING

**WALL TYPE: 3B**  
TWO (2) HOUR FIRE-RATED-ASSEMBLY, UL DESIGN # U419 NONBEARING CONSTRUCTION - TWO LAYERS OF GYP. BD. TYPE X WITH FURRING 7/8" HAT CHANNEL ABOVE EXISTING MASONRY

**WALL TYPE: 3C**  
TWO (2) HOUR FIRE-RATED-ASSEMBLY, UL DESIGN # U419 NONBEARING CONSTRUCTION - TWO LAYERS GYP. BD. TYPE X PAINTED EACH SIDE OF 3-5/8" ON WOOD STUDS @ 16" O.C.



**Project Team:**

**UBIQUITOUS DESIGN, LTD.**  
ARCHITECTS  
3443 LEE ROAD  
SHAKER HEIGHTS, OHIO 44120  
P 216.752.4444 F 216.752.5011 ARCATK@UOLTD.COM



W. Daniel Bickerstaff, II License No. 12608  
Expires on December 31, 2027

GCVHCRAC MEETING	WDB II	02.17.2026
PERMIT ISSUANCE	WDB II	12.17.2025
ISSUED	BY	DATE

**TRADE MASTERS INSTITUTE**

BUILDING RENOVATION / CHANGE OF USE  
2860 EAST 130TH STREET  
CLEVELAND, OH 44120

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Consultant Project #	Drawn by:	Checked by:
	NN - DB	WDB, II

**DOORS, WINDOWS AND WALL DETAILS**

Scale: As Indicated  
Date: 02.20.2026  
Sheet: **A3.3**

3. DO NOT USE THIS DRAWING FOR ANY OTHER THAN DESIGNATED PROJECT.  
4. DO NOT SCALE DRAWING IN ORDER TO OBTAIN ANY DIMENSIONS.

2. PRIOR TO COMMENCING ANY CONSTRUCTION WORK, OR ORDERING NEW MATERIALS AND EQUIPMENT FOR THIS PROJECT, CHECK EXISTING CONDITIONS ON BUILDING SITE, AND VERIFY DATA AND INFORMATION IN THIS DRAWING.

1. REFER TO GENERAL NOTES AND SPECIFICATIONS AND TO OTHER DRAWINGS IN THIS SET OF PLANS FOR CROSS-REFERENCING AND SUPPLEMENTARY INFORMATION.

**NOTES:**



**PROPOSED EAST ELEVATION**



**PROPOSED NORTH ELEVATION**



**Category: Doors, Entry Doors, Storefront**  
**TEZA 55 Series Storefront Commercial Door**  
Transform your commercial space with our sleek and durable aluminum storefront door. Designed to combine superior functionality, crafted from high-grade aluminum, this door offers superior strength and resistance to fire, corrosion, and impact. Available in various colors and finishes, the TEZA 55 Series Storefront Commercial Door is made from premium aluminum, this door is built to withstand any weather conditions, while providing easy access and optimal energy efficiency.

**Key Features:**

- Aluminum Storefront Door
- Coloring
- Impact Resistance

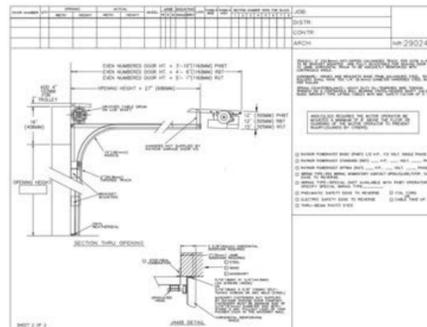
**\*\*NOTES FOR INSTALLATION\*\***

**Dimensions:**  
Rough Opening Width (W) = Width + 4"  
Rough Opening Height (H) = Height + 3"



**Category: Fixed Window, Windows**  
**TEZA 65 Series Aluminum Fixed Window**  
TEZA Fixed Window

- Aluminum 18mm Aluminum
- Color: Matt Black color powder coated
- Glass: 5mm+27Argon gas+5mm, Double tempered clear glass.
- Dimension (W x H): 36" x 24"
- With Screen



**PROPOSED SOUTH ELEVATION**



Project Team:

**UBIQUITOUS DESIGN, LTD.**  
ARCHITECTS

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P 216.752.4444 F 216.752.5011 ARCADEK@UOLTD.COM



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Approved:	Date:
X	
Consultant Project #	Drawn by: NN - DB
	Checked by: WDB, II

RENDERINGS

Scale:	Sheet:
Date: 02.20.2026	LM1.0

# Case 26-015

Certificate of Appropriateness

Magnolia-Wade Park Historic District

## Magnolia Clubhouse 1101 Magnolia Drive

**Addition and Renovation**

Project Representatives: Brandon Garrett, Bialosky

Ward 9: Councilmember Conwell

Previous Case 22-057



**New Addition & Renovations to the Existing Magnolia Clubhouse  
at 11101 Magnolia Dr, Cleveland, OH 44106**

ARB Submission to The City Of Cleveland,  
Greater Northeast Historic Design Review Advisory Committee / Landmarks Commission  
University Circle District

February 17, 2026

**BIALOSKY**

# Project Summary

Address: 11101 Magnolia Dr, Cleveland, OH 44106

Magnolia Clubhouse is a vital community of growth, hope, and opportunity, whose mission is to ensure that people living with mental illness are respected co-workers, neighbors, and friends.

The Clubhouse provides people with mental illness opportunities for friendship, employment, housing, education, and access to medical and psychiatric services in a caring and safe environment.

The Magnolia Clubhouse seeks to strengthen the connection between its existing East and West buildings with a new addition that prioritizes accessibility, openness, and flexible space for member engagement. The design must unify the campus, enhance daily use, and provide infrastructure for future growth while accommodating cost-conscious adjustments to meet the construction budget of \$5,000,000. The following outline describes the project's key objectives.

- Magnolia's highest priority is to link the East and West buildings with universal access across all floors, achieved through the installation of a new ADA-compliant elevator and circulation paths that strengthen the connection between the buildings.
- At the heart of the addition will be a flexible, light-filled Common Space designed for daily Member use, social interaction, and gatherings—supporting everything from informal lunches to weekly meetings and special events.
- A new main entry and reception will provide a clear, welcoming point of arrival, with staff positioned to oversee the Entry, Common Space, and connections to both buildings, while the existing West entry continues to serve existing Café users.
- Upper-level Work Areas will be open and adaptable to evolving programming, while new inclusive, unisex restrooms—including a shower—will expand capacity and support the increased needs of Members.

Area of work includes:

## **First Floor**

Existing East Building: 4,512, sq. ft.  
Existing West Building: 2,566 sq. ft.  
Addition: 2,374 sq. ft  
Total: 9,452 GSF

## **Second Floor**

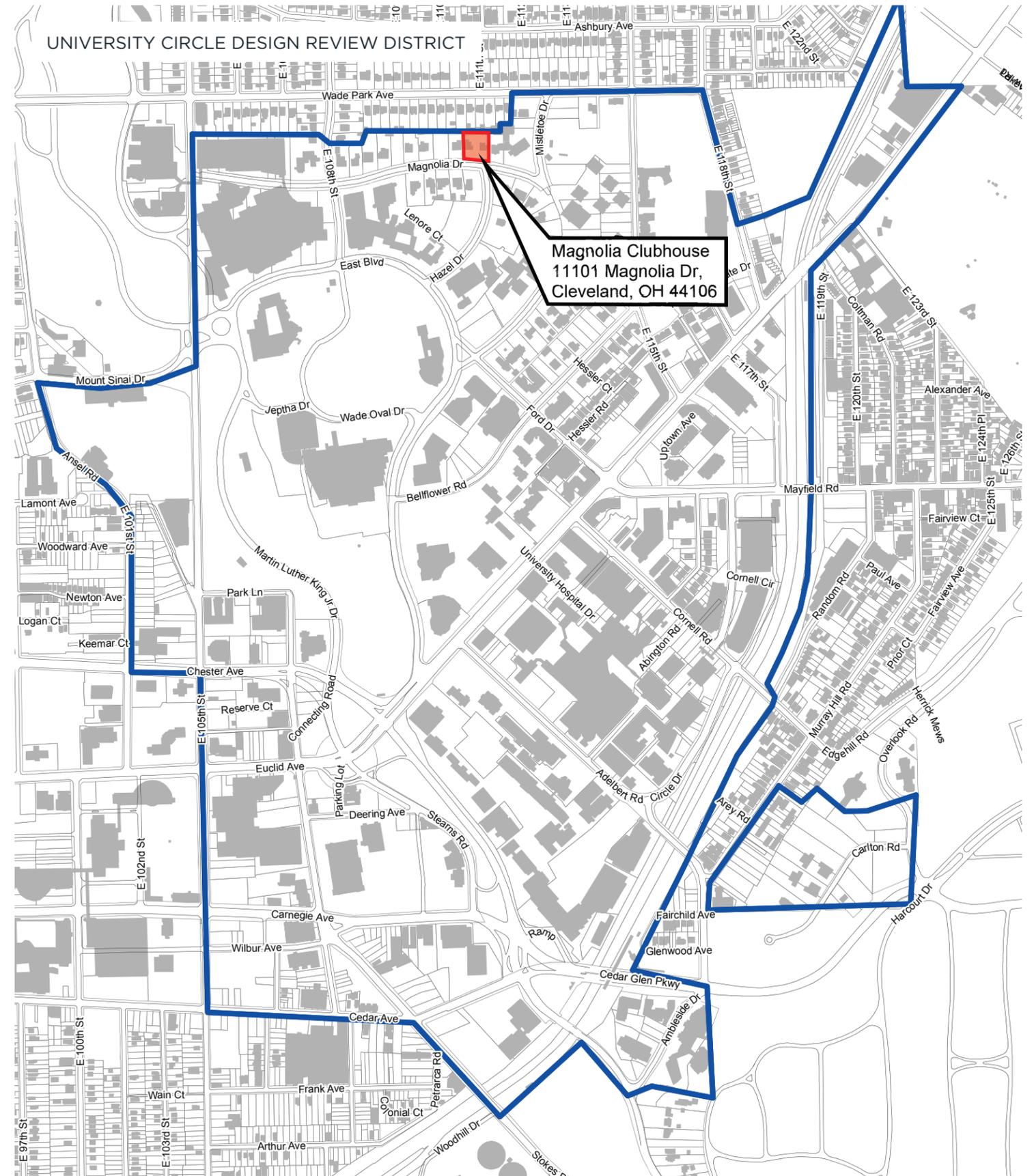
Existing East Building: 2,746 sq. ft.  
Existing West Building: 2,250 sq. ft.

## **Third Floor**

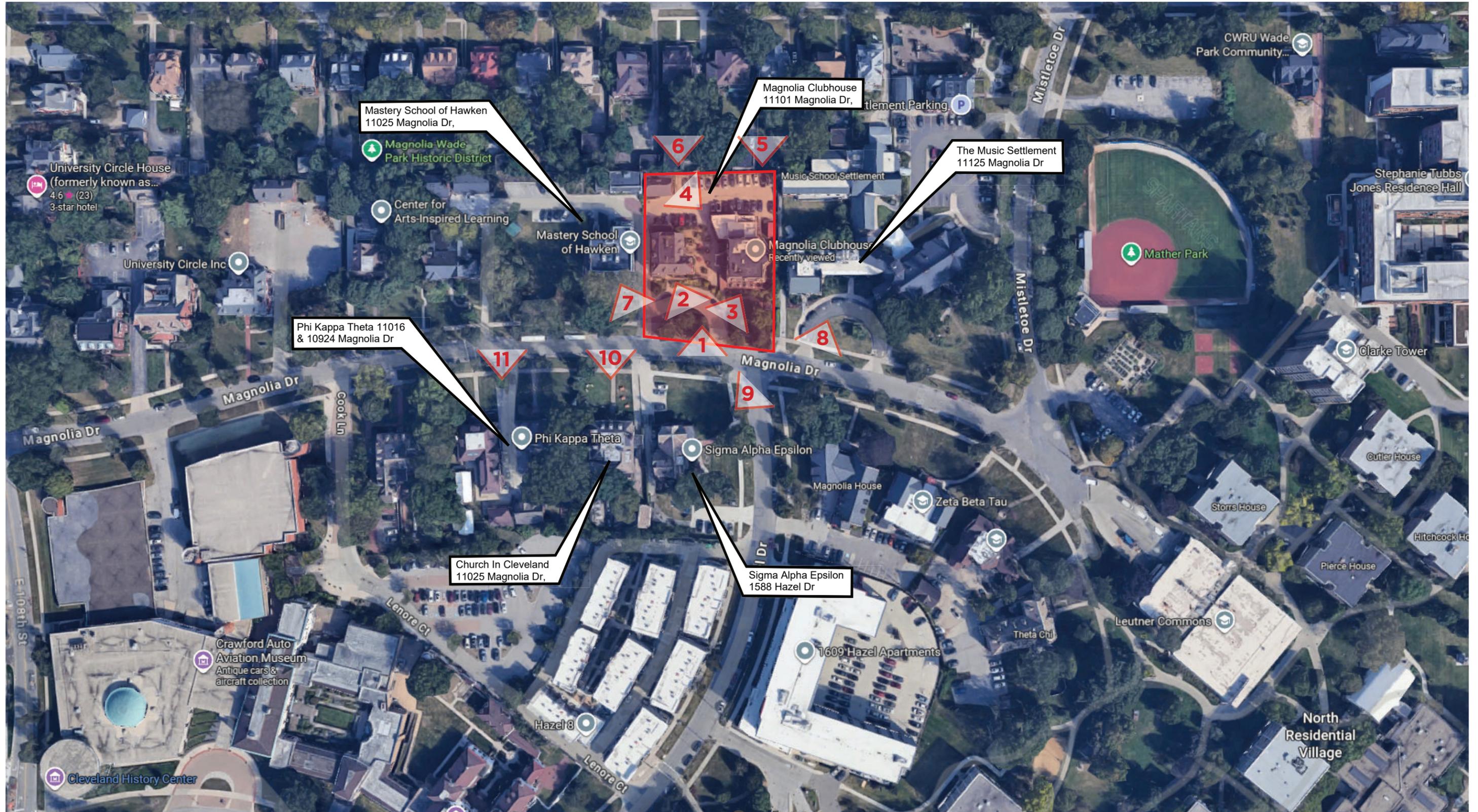
Existing East Building: 2,740 sq. ft.  
Existing West Building: 1,776 sq. ft.  
Addition: 2,256 sq. ft.  
Total: 6,502 GSF

## **Total Area Summary:**

Existing: 18,576 sq. ft.  
Addition: 6,854 sq. ft.



# Site Context Map



# Existing Conditions Site Plan



# Existing Building Photos



PHOTO 1. Magnolia Clubhouse - East & West Buildings from Magnolia Dr.



PHOTO 2. Magnolia Clubhouse - West Building from dropoff driveway.



PHOTO 3. Magnolia Clubhouse - East Building from dropoff driveway.

# Existing Building Photos



PHOTO 4. East Building showing the addition built in 2009 to provide a Kitchen expansion to the Clubhouse



PHOTO 5. Rear of East Building



PHOTO 6. Rear of West Building

# Site Context Photos



PHOTO 7. Mastery School of Hawken, 11025 Magnolia Dr.



PHOTO 8. The Music Settlement, 11125 Magnolia Dr.



PHOTO 9. Sigma Alpha Epsilon, 1588 Hazel Dr.

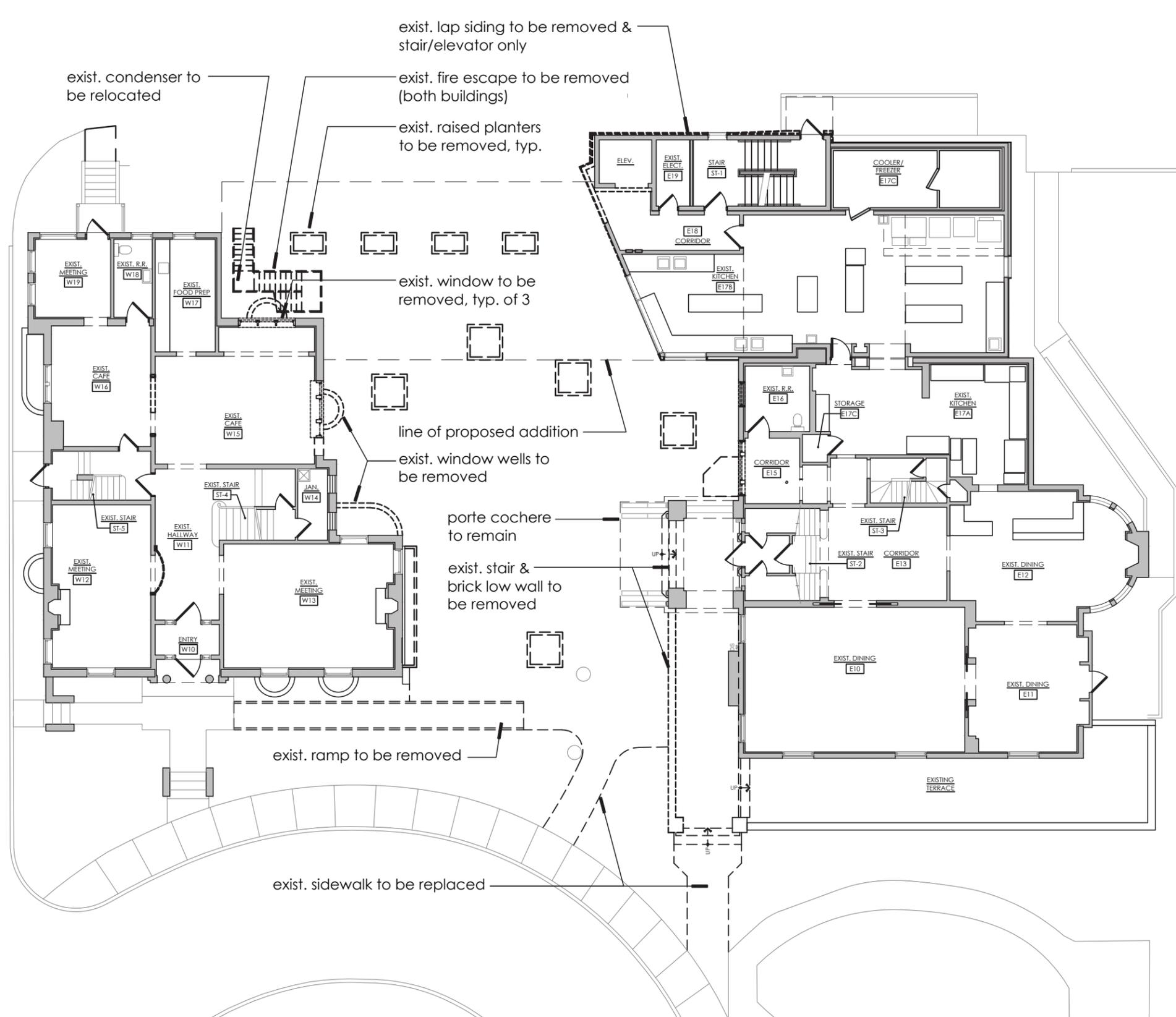


PHOTO 10. Church In Cleveland, 11025 Magnolia Dr.



PHOTO 11. Phi Kappa Theta, 11016 & 10924 Magnolia Dr.

# Demolition Plan - First Floor



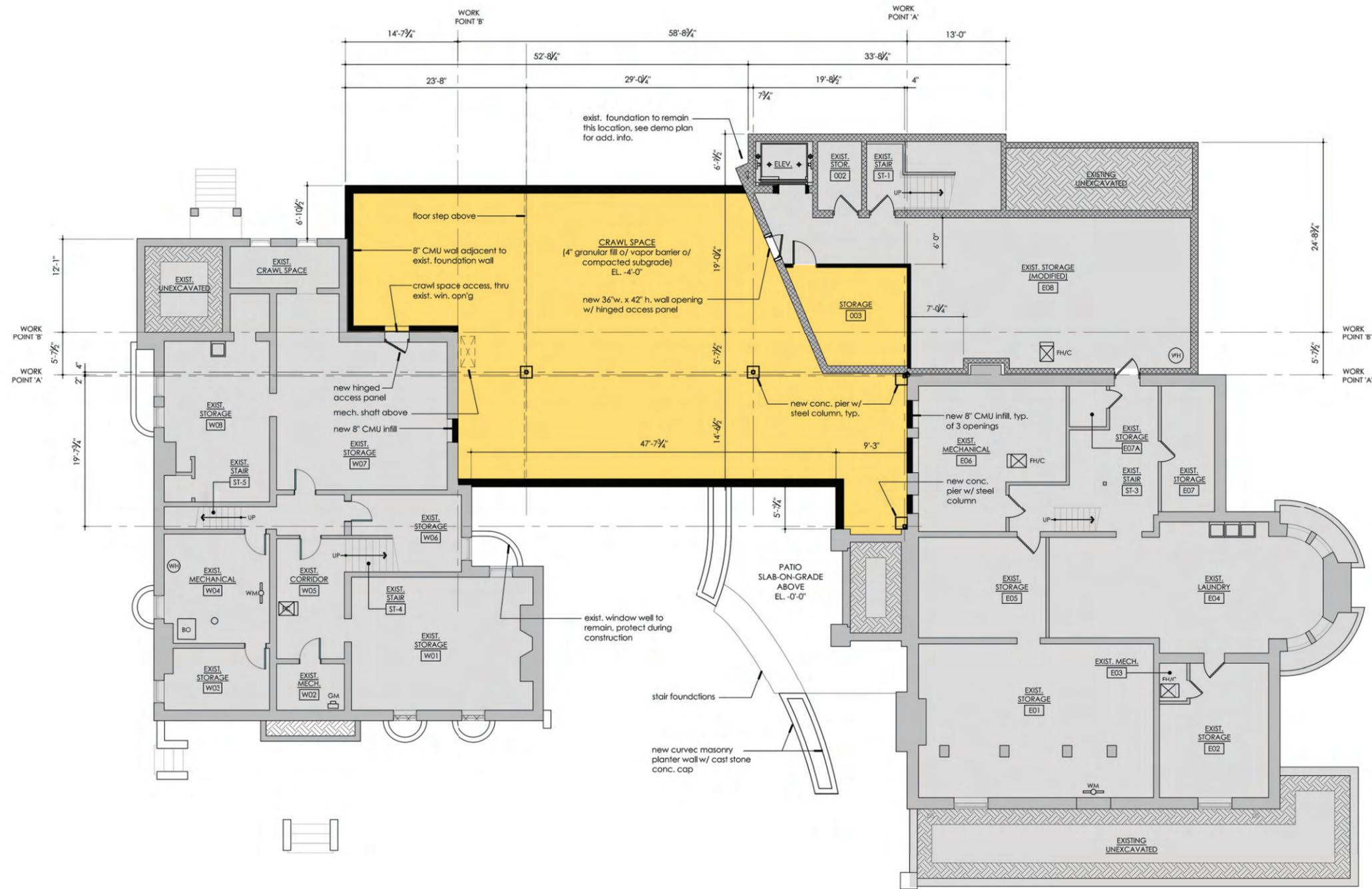
FIRST FLOOR DEMO PLAN  
1/16" = 1'-0"

# Site Plan



SITE PLAN  
(not to scale)

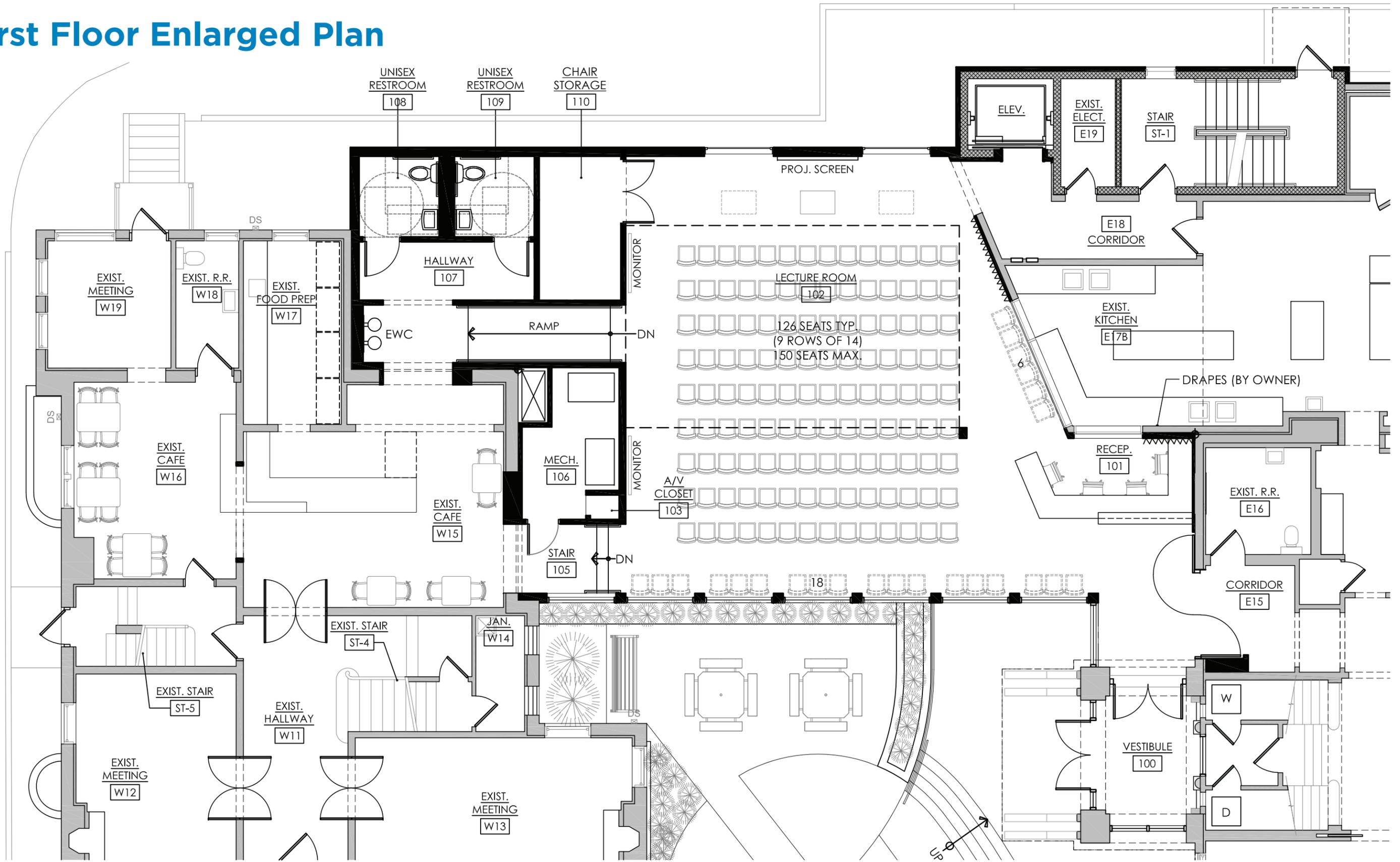
# Basement Plan



BASEMENT FLOOR PLAN  
1/16" = 1'-0"

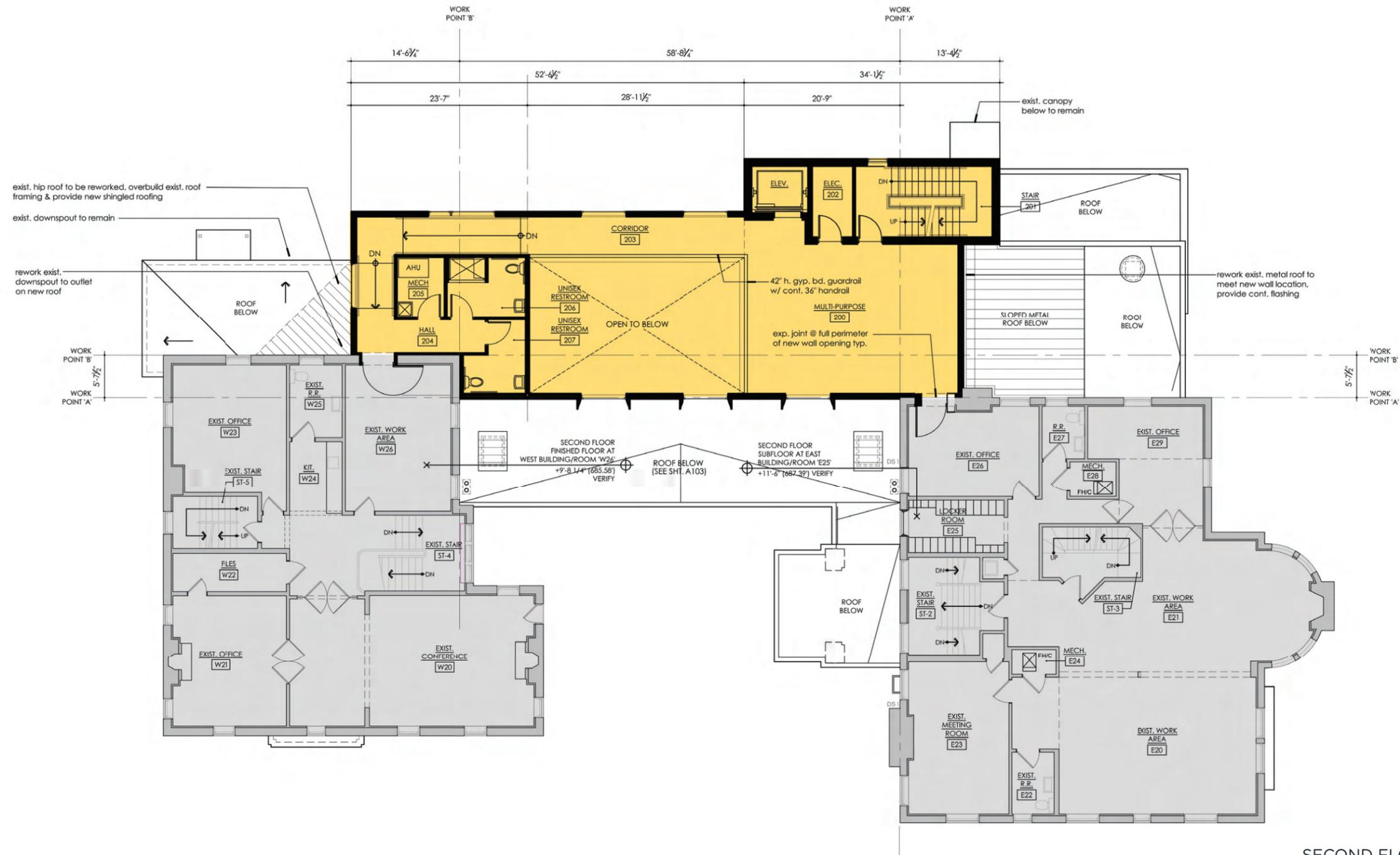


# First Floor Enlarged Plan



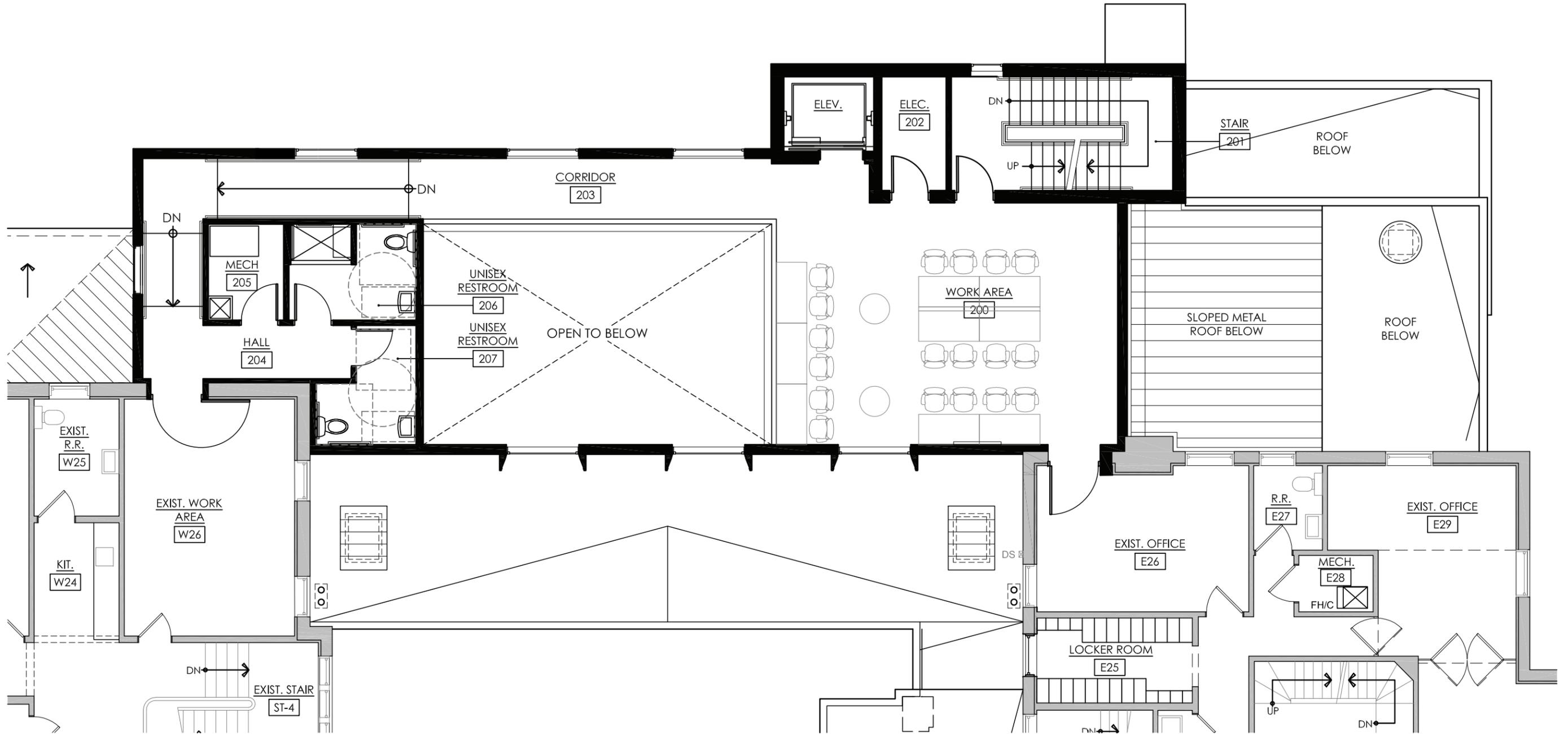
FIRST FLOOR ENLARGED PLAN  
1/8" = 1'-0"

# Second Floor Plan



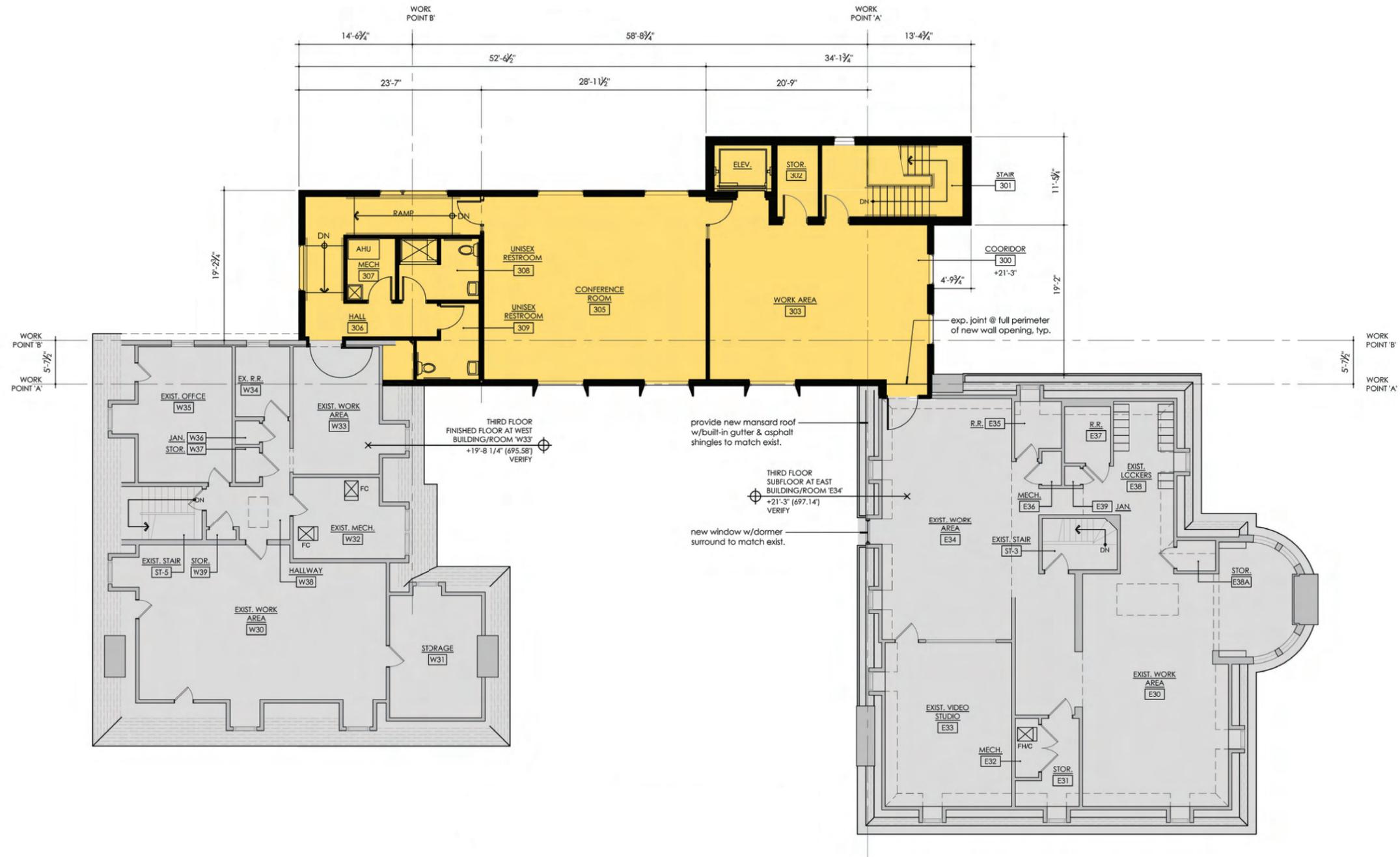
SECOND FLOOR PLAN  
1/16" = 1'-0"

# Second Floor Enlarged Plan



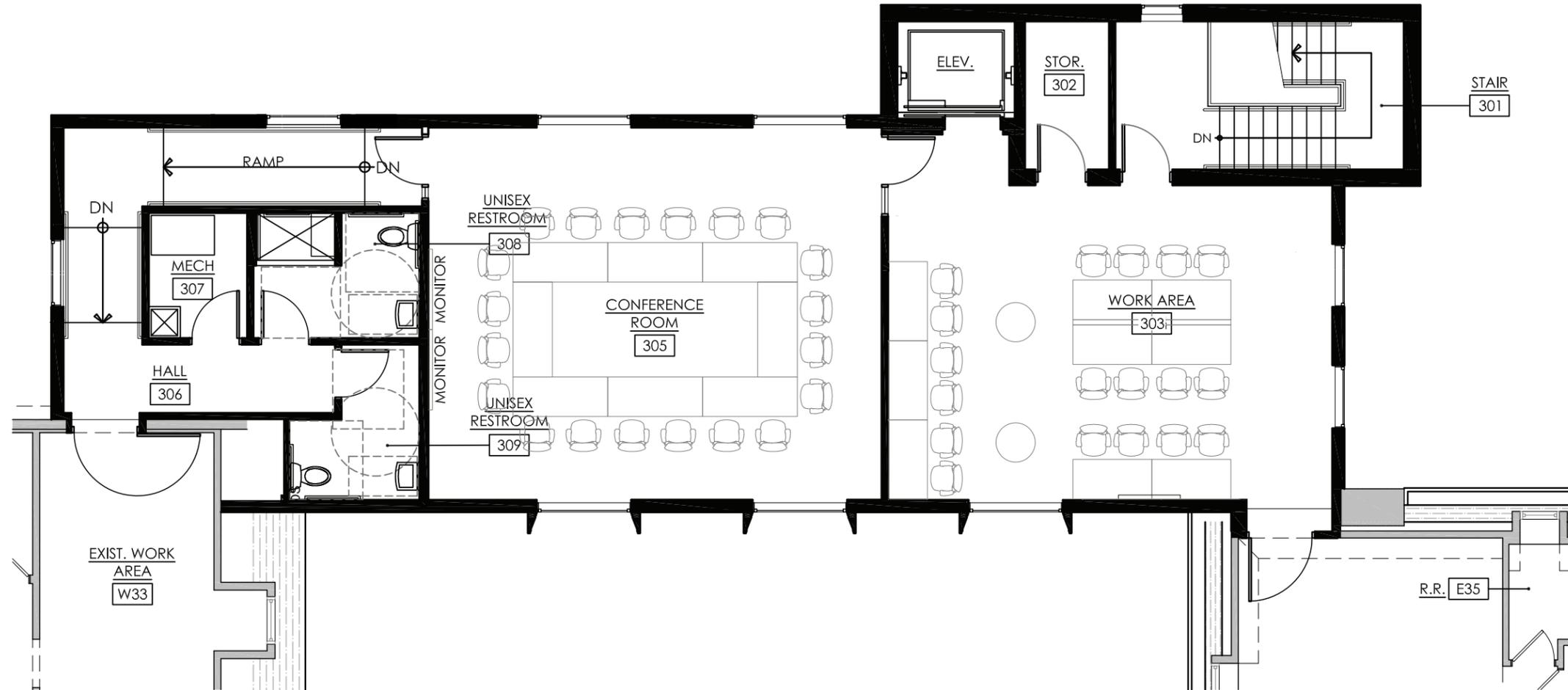
SECOND FLOOR ENLARGED PLAN  
1/8" = 1'-0"

# Third Floor Plan



THIRD FLOOR PLAN  
1/16" = 1'-0"

# Third Floor Enlarged Plan



THIRD FLOOR ENLARGED PLAN  
1/8" = 1'-0"

# Rendering



Bird's Eye View

# Rendering



Front Perspective

# Rendering



Rear Perspective

# EXTERIOR SIDING MATERIAL PRECEDENTS



Cupaclad 101 Logic horizontal slate siding



Painted Stucco finish by Sto Corp, color to match trimwork and mouldings on existing buildings

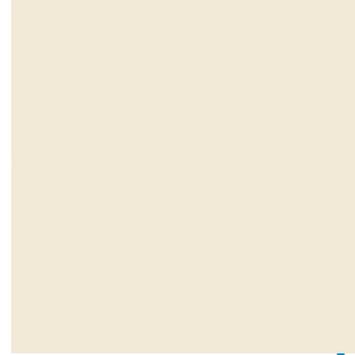


# Exterior Front Elevation

Burnished CMU by Trendstone, with cast stone sill, color to match stucco finish



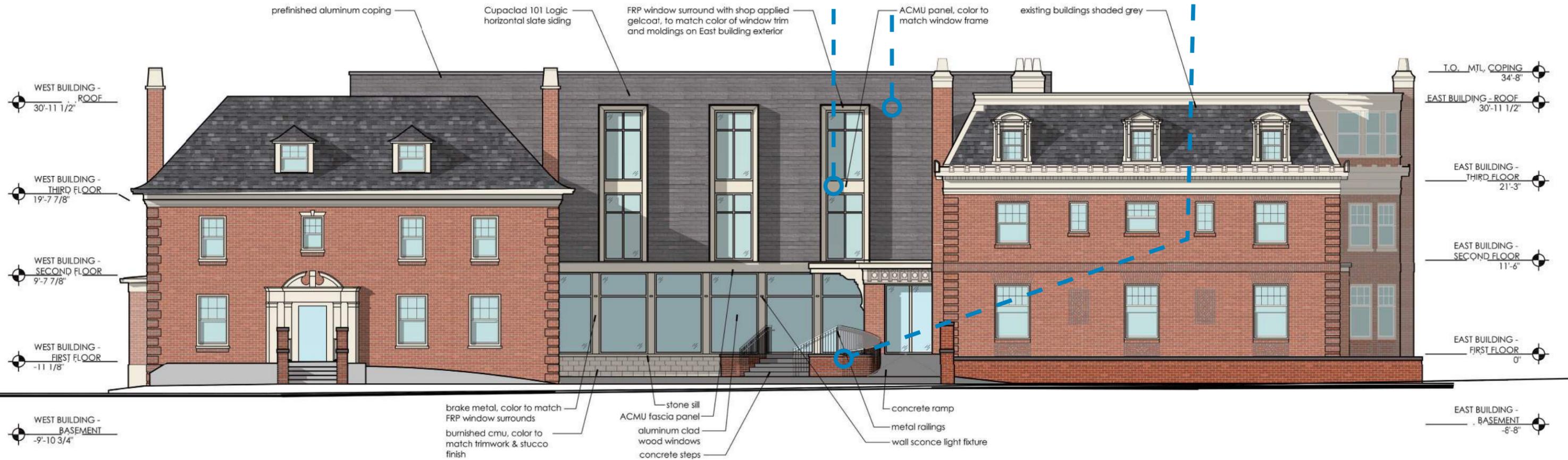
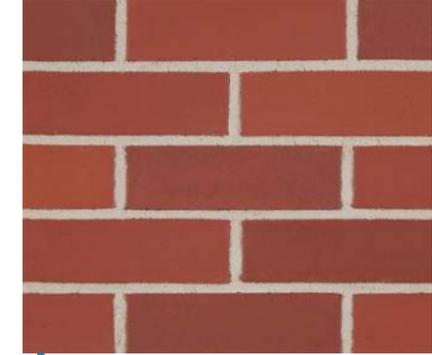
Frames/Trimwork/ACMU to match existing trimwork color



Cupaclad 101 Logic horizontal slate siding



Brick to match brickwork on East Building. Colony Red Range standard size, by Belden



B - WEST ELEVATION  
1" = 20'-0"

## Magnolia Clubhouse - Additions & Renovation

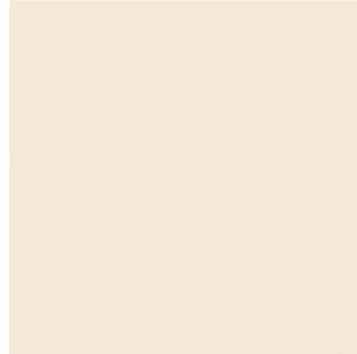
Design Review Submission

Front (South) Elevation  
(not to scale)

01.27.2026

# Exterior Rear Elevation

paint color to match existing trimwork color



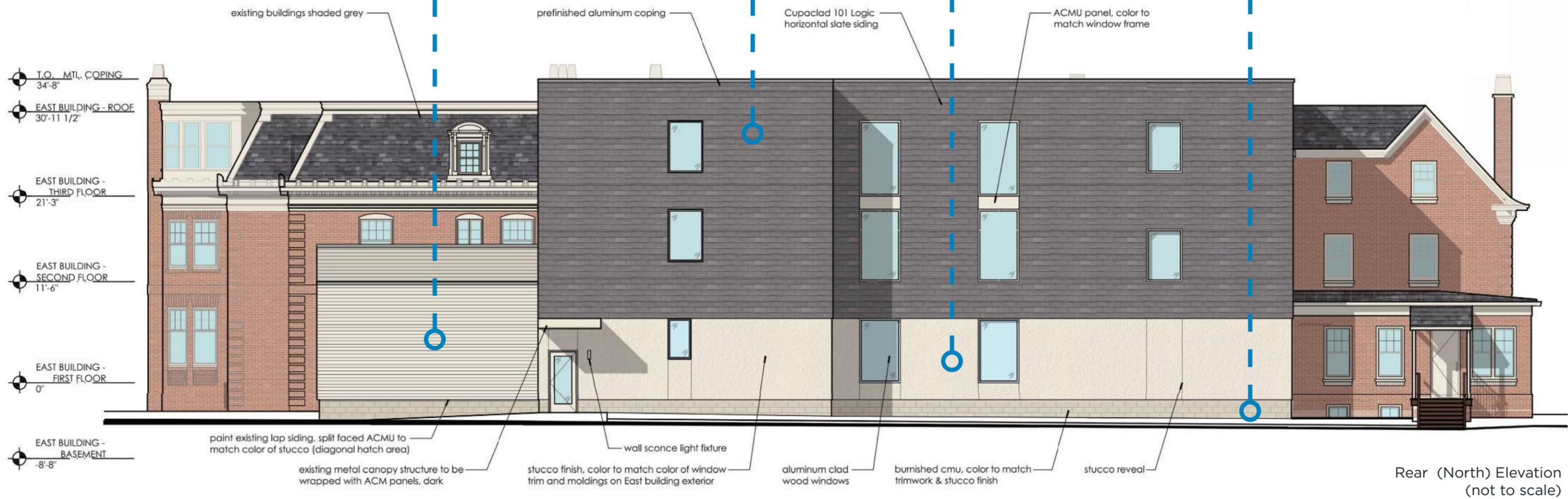
Cupaclad 101 Logic horizontal slate siding



Painted Stucco finish by Sto Corp., color to match trimwork and mouldings on existing buildings



Burnished CMU by Trendstone, with cast stone sill, color to match stucco finish



Rear (North) Elevation  
(not to scale)

# Exterior Side Elevation



Side (West) Elevation  
(not to scale)



Side (East) Elevation  
(not to scale)

# Building Section facing East



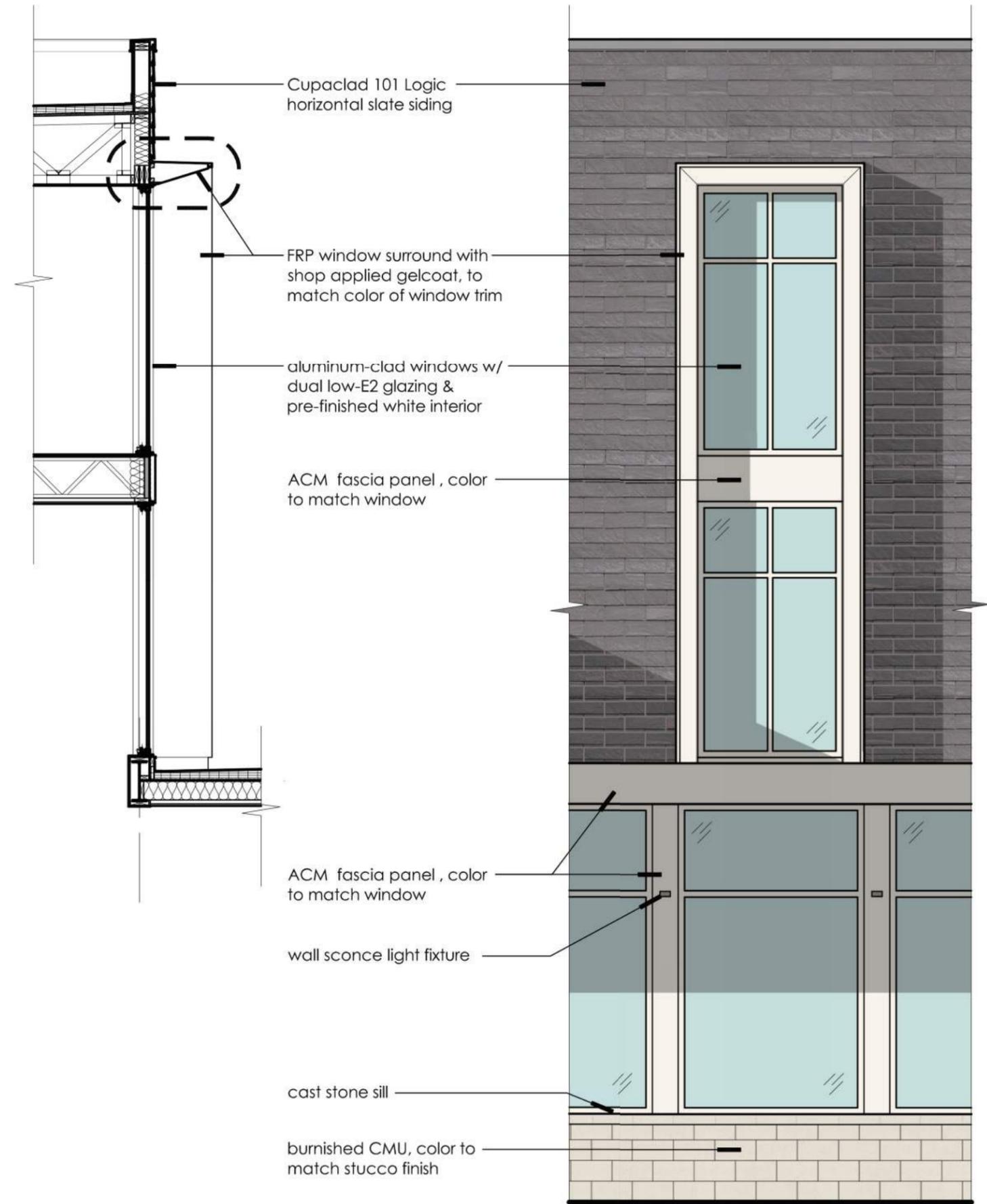
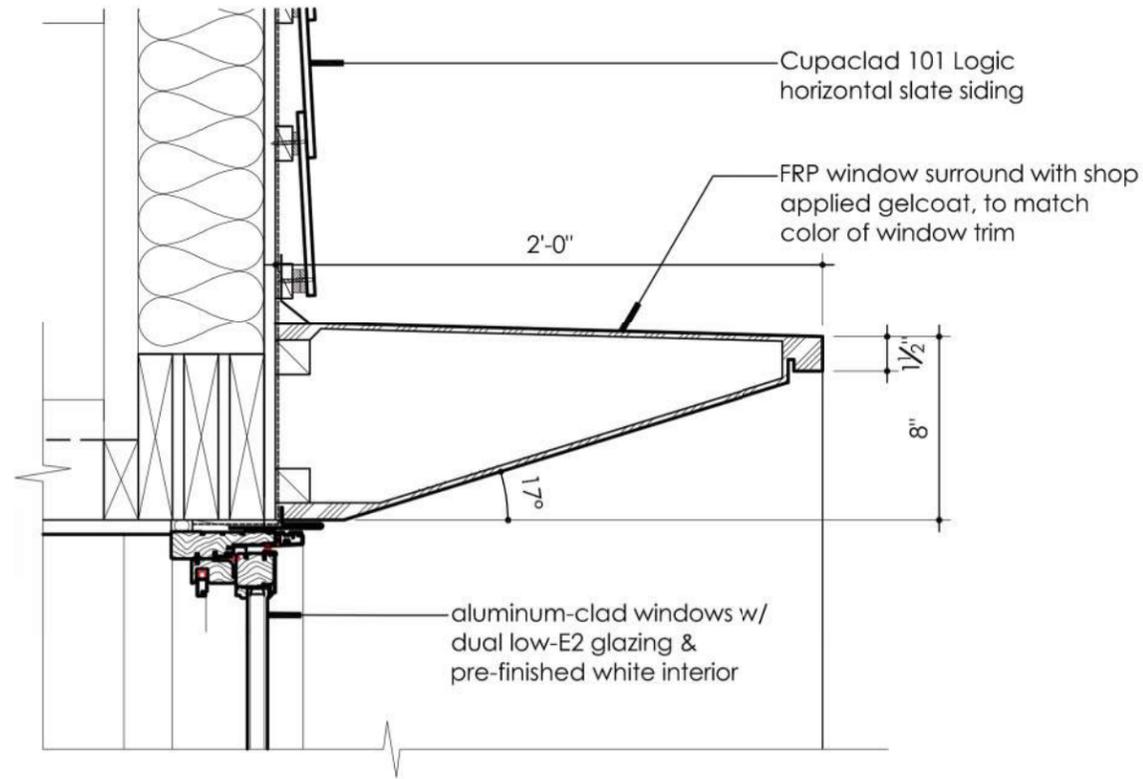
BUILDING SECTION  
1/8" = 1'-0"

# Building Section facing West



BUILDING SECTION  
1/8" = 1'-0"

# Addition Dormer Details



# East Building Vestibule Details



- existing brickwork impacted by new work to be cleaned & repointed
- existing wood ceiling to be refinished
- existing entry door, decorative columns and trimwork to be cleaned and painted
- aluminum-clad windows w/ dual low-E2 glazing & pre-finished white interior
- brushed aluminum railing cap, 2" wide x 1/4"
- 1/2" thick tempered glass railing panel

